

# **ATTACHMENT TO AGENDA ITEM**

**Ordinary Meeting**

**16 July 2013**

**Agenda Item 6.2      Public Toilet Report and Draft Policy**

**Attachment 1            64.POL.1 - Public Toilet Management Policy ..... 143**

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# GREATER SHEPPARTON CITY COUNCIL

Policy Number X.X

## PUBLIC TOILET POLICY

Version 1.0

Adopted Day Month Year  
Last Reviewed Day Month Year

### DRAFT

<b>Department:</b>	Recreation and Parks
<b>Responsible Officer:</b>	Manager Recreation and Parks
<b>Approved By:</b>	Chief Executive Officer
<b>Next Review:</b>	

## PURPOSE

Public toilets play a critical role in the cultural, economic and environmental development of a region. They are proven to improve local amenity and increase participation in social, recreational and commercial activity. They also play a significant role in increasing the quality of life for many people.

## OBJECTIVE

The objective of this policy is to formalise the Greater Shepparton City Council's commitment to the provision of high quality, well maintained and fully accessible public toilet facilities. This policy will guide the management of the Council's provision of public toilets with respect to:

- Siting and Distribution
- Accessibility
- Quality and Service Levels
- Cleanliness and Maintenance
- Risk Management and Public Safety
- Design

## SCOPE

This policy refers to public toilet facilities that are owned and managed by the Council.

## DEFINITIONS

Reference term	Definition
<b>Precinct Public Toilets</b>	High quality public toilets and amenities that maximise access by people of all abilities and their care givers. These amenities include adult and baby change facilities, as well as areas for baby feeding. Service operates and is accessible at defined times that respond to activity and usage demands associated with each precinct. May or may not include 24 hour service access. Typical locations include major commercial business districts precincts, large sporting precincts, regional parks and premier places.

<b>General Public Toilet</b>	<p>High quality public toilets for people of all abilities. Facilities. Adult and baby change facilities, as well as areas for baby feeding may be provided, where significant demand is demonstrated.</p> <p>Generally the service is available on a 24 hour basis. Typical locations are district parks, town entries, and small town central business districts.</p>
<b>Restricted Public Toilet</b>	<p>High quality public toilets for people of all abilities. Adult and baby change facilities, as well as areas for baby feeding are unlikely to be provided, however may be considered in some locations, where significant demand is demonstrated.</p> <p>Access is based on formal and scheduled activity by hire groups and during the hire period access is regulated by the hiring group. Typical locations include most sporting facilities and recreation reserves.</p>

## POLICY

### 1. Siting and Distribution

- a) Priority for the siting and availability of public toilet facilities will be given to locations that support high levels of community and social interaction and activity such as central business districts, regional and district parks and recreation and sporting reserves.
- b) Public toilet facilities will not be provided at drainage reserves, community parks or small open spaces or within close proximity to residential properties
- c) Public toilet facilities (wayside stops) will only be provided at locations adjacent to a community facility with reasonable levels of community use (for example a district park at a town entry)
- d) No public toilets will be provided to service shared pathways unless there is an adjacent community facility that has high levels of community interaction and activity.
- e) All large towns and should have at least a General Public Toilet or Precinct Public Toilet. Towns include: Mooroopna, Tatura, Merrigum, Murchison, Toolamba, Undera. Dookie.

- f) The siting and distribution of public toilets will be subject to the consideration of existing and planned commercial and private developments that include public access to toilet and change room facilities.
- g) The Council will work collaboratively with developers and the general public in order to maximize the distribution and availability of both Council and privately provided public toilet and change facilities in commercial business districts and at community facilities that have high levels of community interaction and activity.
- h) The existing and proposed future siting, type and distribution of public toilets shall be documented described within the Greater Shepparton Public Toilet Service Plan

## 2. Accessibility

- a) Universal design principles should be applied to the design of all public toilet facilities. This includes modifications to existing facilities and new facilities.
- b) Facilities must be usable and accessible to people of all abilities.
- c) Facilities should not disadvantage or stigmatise any group of users
- d) Facilities should accommodate a wide range of individual preferences and abilities
- e) Facilities should be easy to understand, regardless of the users, experience, knowledge, language skills or current concentration level
- f) Facilities must communicate necessary information effectively to the user, regardless of ambient conditions or the user's sensory abilities
- g) Facilities should be able to be used efficiently and comfortably
- h) Facilities should provide appropriate size and space for approach, reach, manipulation, and use, regardless of a user's body size, posture or mobility.
- i) All new facilities should meet the requirements of the Federal Disability Discrimination Act and Australian Standard AS 1428.1 (Design for Access and Mobility). Existing facilities should be progressively modified, renewed and replaced as resources allow to meet these standards.

### 3. Quality and Service Levels

- a) All facilities shall be maintained at a high level of hygiene and cleanliness.
- b) Cleaning frequency will be based upon the level of use and volumes of activity associated with each facility.
- c) Restricted Public Toilets will be accessed by user groups through a formal booking arrangement. User groups will be responsible for the availability of access during the hire period, the monitoring of the cleanliness of the facility, and replenishing of supplies and cleaning following use.
- d) The Council will fully clean and sanitize Restricted Public Toilets once a month and supply user groups with supplies and cleaning equipment as required and on request.
- e) The frequency of cleaning and levels of service response for all existing public toilets shall be fully documented within the Greater Shepparton Public Toilet Service Plan.

### 4. Public Safety

- a) The location, design and management of toilets should be consistent with Crime Prevention Through Environmental Design (CPTED) principles
- b) Facilities should be highly visible from the surrounding area and not hidden from the public
- c) Entrances to facilities should be clearly visible from the street and other public areas; and public toilets in or near playgrounds should be clearly visible from the playground. Access should not be obscured.
- d) Maximum use of natural light and if used after sunset, good artificial light in and around the facility
- e) Capacity for natural surveillance from pedestrian activity and other building users should be included. Other buildings or landscape features should not obscure the view of the public toilet.
- f) Entrances should face towards areas of maximum pedestrian activity
- g) Landscaping should not obscure public toilets. Low planting is acceptable
- h) Building materials and finishes should be light in colour and a type of material that discourages graffiti and which is easy to maintain and clean.

- i) Facility design and cubicle configuration should be welcoming, with cubicles having direct access to the public area, natural lighting to be maximised and light coloured surfaces
- j)

#### **5. Service Communication**

- a) The time and date of the last cleaning of each public toilet and contact details to report poor conditions or damage will be displayed prominently at each venue.
- b) Directional signage will be available throughout central business districts and towns to provide clear indication of where toilets are located.
- c) Directional signage which is clear, uniform and accessible will be provided no less than 100 meters from each public toilet facility.

#### **RELATED POLICIES AND DIRECTIVES**

- Greater Shepparton Public Toilet Service Plan (2013) (Under Preparation)
- Greater Shepparton Universal Access and Inclusion Plan 2013-2017 (DRAFT).

#### **RELATED LEGISLATION**

- Australian Standard AS 1428.1 (Design for Access, the Mobility)
- Federal Disability Discrimination Act
- Disability (Access to Premises - buildings) Standards 2010 (the Premises Standards).

**REVIEW**

The Council's Public Toilet Management is to be reviewed every three (3) years by the Council's Manager Recreation and Parks

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**Gavin Cator**  
**Chief Executive Officer**

**Date**

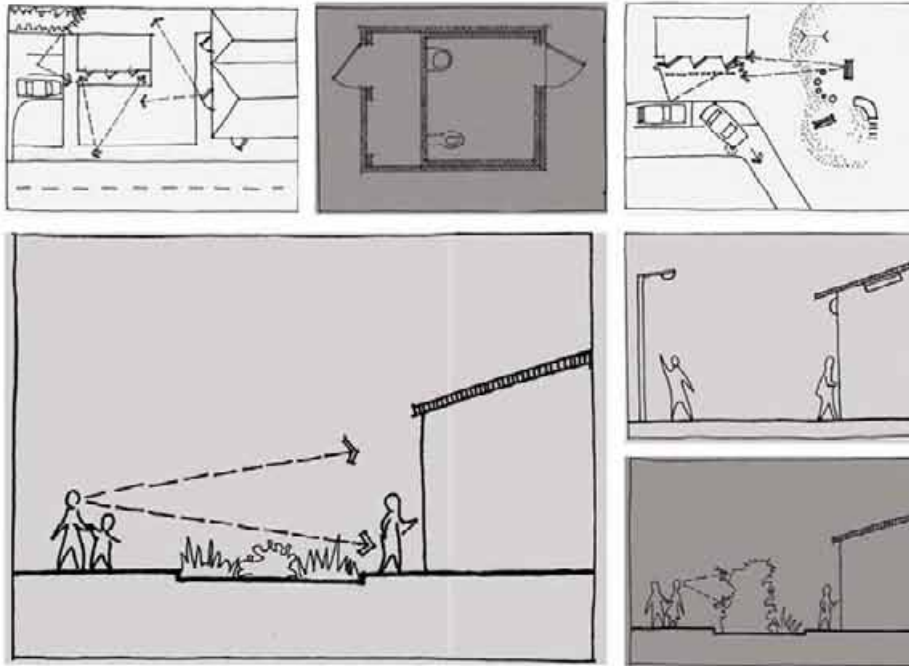
**ATTACHMENTS**

*Example:*

**Appendix A: Title of Appendix**

**Attachment 1: Title of Attachment**





## Public Toilet Review

Prepared for  
Greater Shepparton City Council  
28.06.2013

Prepared by  
Liesl Malan Landscape Architects

*Draft*

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## Public toilet review

Draft

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# Executive Summary

Draft

## Intent

This report has been prepared for Greater Shepparton City Council (GSCC), it provides a strategic overview of public toilet facilities in the Shepparton region. It has been developed to guide the provision of accessible public toilet facilities and associated infrastructure for the next ten years. This Report is the first stage in a three part process which includes:

1. Strategic overview (this Report)
2. GSCC Public Toilet Management Policy (pending adoption)
3. GSCC Cleaning and maintenance manual / specifications (future stage)

## Assessment of existing conditions

The report provides an assessment of the existing 29 public toilets across the Shepparton region. This includes a preliminary structural and DDA assessment. These assessments formed the basis of the recommendations which are outlined in this report.

## Methodology

An overview of the consultation process which was undertaken is provided on page 15 of the Report. It accords with the GSCC Consultation Strategy.

## Design guidelines

Guidelines for the future provision of public toilets have been provided. These accord with relevant standards for safety, accessibility and environmentally sustainable design.

## Recommendations

To conclude, the report provides a number of key recommendations. These recommendations include the opportunities to refurbish, replace or remove existing public toilets, as well as outlining opportunities for new public toilet infrastructure.

A proposed 10 year capital works plan is included to assist in the delivery of the recommendations provided.

## Glossary of terms

Draft

### **Accessible public toilet**

An accessible toilet is designed to accommodate the needs of wheelchair users and ambulant disabled people. It may not meet the needs of all persons, however.

### **Ambulant public toilet**

Ambulant toilets are not designed to accommodate the needs of wheelchair users but are useful for people with mobility impairments and for users who may require more space in a cubicle, such as parents or carers with prams.

### **Changing Places**

Changing places is a consortium which campaign for the provision of facilities for people with profound and multiple learning disabilities, as well as other serious impairments such as spinal injuries, muscular dystrophy or an acquired brain injury and their carers. Changing Places toilets are designed specifically for people with disabilities who cannot use standard accessible or ambulant public toilets.

### **Crime Prevention Through Urban Design (CPTED)**

CPTED is a strategy that focuses on reducing opportunities for crime through the planning and design of buildings and public areas.

### **Universal Design / Universal Access**

Universal design aims to provide universal access to public places. It focuses on creating products, environments, and services which are easier for all people to use, regardless of their abilities, age or current state of health.

### **Environmentally Sustainable Development (ESD)**

ESD is a socially and ecologically responsible approach to design which considers the human and environmental impacts of building both now and the future. It aims to design buildings and places in a way which ensures that there is no negative impact in the environment.

## Introduction

Draft



*Toilets at the Bendigo taxi rank cater for visitors and commuters during the day and people recreating socially after dark*



*Public toilets in urban locations help meet the needs of local commuters and tourists.*  
<http://walrusmagazine.com/article.php?ref=2011.03-essay-skip-to-the-too&page=>



*Public toilets close to play and activity areas, such as this one, help increase participation in recreational activity.*  
<http://inhabitat.com/green-roofed-public-restroom-facility-in-argentina-offers-amazing-river-views/>



*Public toilet in parklands support an active lifestyle in a community.*  
<http://openbuildings.com/buildings/public-toilets-in-the-tote-dor-park-profile-44712>

Public toilets play a critical role in urban design and town planning. As outlined in GSCC's Municipal Public Health Plan, physical infrastructure, including public toilets "is critical to the connectedness of a community". Public toilets are more than just a piece of utilitarian infrastructure. They are proven to improve local amenity and increase participation in social, recreational and commercial activity. Their availability enables many people to have a more active, social and rewarding life.

Public toilets are particularly important for children, women, older people, people with disabilities and people experiencing homelessness. People living in regional communities travel extensively and providing public toilets that meet their needs is crucial to helping support them in their in daily activities.

Good quality, appropriately located public toilets are also proven to "help encourage use of an area" (Beeton, S. 1998). This is true for both local residents and tourists. People plan their routes around facilities such as play grounds and toilets and towns in the Shepparton region could benefit greatly from having high quality toilets available to travellers.

In the past, toilets were designed to be out of public view. It is now recognised that these facilities should be located where they can easily be seen and accessed.

In recent years, there has been significant feedback from the public and advocacy groups highlighting a sense of dissatisfaction with the location, size, design and quality of public toilets in the Shepparton region. Many facilities are reportedly in poor condition, poorly maintained and subject to ongoing vandalism. People have also expressed concern regarding personal safety and antisocial behaviour.

Greater Shepparton City Council's cleaning and maintenance programs have also been questioned and it is recognised that the current condition and the age of many of the structures has limited the effectiveness of cleaning by the maintenance teams.

Only a small number of toilets provide universal access and user specific facilities such as baby change tables and breast feeding rooms are scarce. There are no adequate adult change facilities, which is of particular importance to the local community.

GSCC acknowledges these concerns and the need for improvement and has commissioned this study to provide a way forward.

To date, no strategic plan has been established to guide Council's provision of public toilets. This review aims to address this deficiency by providing an assessment of the existing facilities, recommendations for improvements, best practice design guidelines and a capital works plan. This review will provide a guide to outline how public toilets in the region can be made universally accessible, safe, be practically distributed and of high standard.

## Aims

Draft

It is acknowledged, that much is asked of GSCC's resources. Like most regional Councils, meeting community expectations within the available Council resources is a challenge. GSCC have consistently demonstrated that they are highly responsive to meeting the needs of their community. The recommendations contained in this Report have therefore been specifically tailored to not only respond to communities needs and wishes, but also to carefully consider Council resources.

There is an increasing need for public toilets in the Shepparton region. This report will focus on appropriate, achievable and cost effective ways in which Shepparton's public toilet facilities can be greatly improved. The specific aims of this report are summarised below.

### **Aims**

#### *Location:*

To provide a network of public toilet facilities and ensure placement best meets community needs.

#### *Safety:*

Apply Crime Prevention through Urban Design (CPTED) principles to ensure public toilet facilities provide a safe environment for users and that opportunities for crime are minimised.

#### *Universal access:*

To ensure public toilet facilities are usable and accessible to the majority of people regardless of their abilities.

#### *Quality:*

To ensure all public toilet facilities are of a suitable quality that meets the needs of the community.

#### *Cleaning and maintenance:*

To ensure maintenance and cleaning regimes are appropriate and can be supported by GSCC.

#### *Environmental sustainability:*

To make public toilet facilities in the region more environmentally sustainable.

With the support of GSCC and the community, we believe that Shepparton can have public toilet facilities that not only meet the needs of the local population and visitors, but that will also generate activity and interest, facilitate social inclusion and draw people to designated areas. This review will outline how this can be achieved.

This report is just one part of an overall strategy for improving public toilets in the Shepparton Region. It should be read in conjunction with the Public Toilet Management Policy and the Cleaning & Maintenance Manual being developed by GSCC.

## Background

### Facilities in Shepparton

Draft

Below is a list of the public toilet facilities included in this review. Please refer to page 9 for a definition of the type of facilities. An assessment of each facility is provided in the Appendices.

Facility	Type	Town
A.F.Larsen Reserve (behind hall)	Unisex	Tallygaroopna
All Abilities Playground	Hybrid	Shepparton
Apex Park - Tatura	Single	Tatura
Congupna	Sports	Congupna
Con Paling Reserve	Traditional	Shepparton
Cussen Park - Tatura	Single	Tatura
Dookie CWA Gardens	Traditional	Dookie
Ducat Reserve - Surrounds	Traditional	Shepparton
Ferrari Park	Traditional	Mooroopna
Fraser Park	Multi-use	Shepparton
Harry Bird Park	Multi-use	Shepparton
Jaycee Park - Murchison	Traditional	Murchison
John Meewen reserve - Lorna Tingay	Sports - Events	Shepparton
John McEwen Reserve - Soccer Surrounds	Sports - Events	Shepparton
John Pick Playground	Traditional	Shepparton
Katandra West Recreation Reserve (behind hall)	Sports	Katandra west
Kidstown	Multi-use	Mooroopna
Merrigum - Judd Park	Hybrid	Merrigum
Pine Lodge Cemetery	Traditional	Pinelodge
Princess Park - Eastern Block	Sports - Events	Shepparton
Princess Park - Western Block (McGregor Oval)	Sports - Events	Shepparton
Queens Gardens	Traditional	Shepparton
Queens Gardens Exeloo	Fully automated	Shepparton
Riverbank Gardens - Murchison	Traditional	Murch
Shepparton Showgrounds	Sports - Events	Shepparton
Stuart Mock Place - Tatura	Traditional	Tatura
Tatura Showgrounds - Western Block	Traditional	Tatura
Undera	Traditional	Undera
Water Tower Gardens - Mooroopna	Traditional	Mooroopna

## Background

Facilities in Shepparton

Draft

The scope of this strategy includes the 29 external public toilet facilities owned by GSCC. 18 of these facilities are public use and are cleaned and managed by GSCC. The only exceptions are SPC Ardmona Kidstown, which is cleaned and managed by SPC Ardmona Kidstown staff and also a number of the sports facilities which are cleaned by the sports groups using them. GSCC is responsible for the maintenance of these facilities.

Further details including photos and assessments for these facilities are provided in the appendices. Public toilet facilities included in this plan have been divided into the following categories. A description of these categories is provided on the following pages.

- Traditional facilities
- Sports use and events facilities
- Unisex single cubicle facilities
- Unisex multiple cubicle facilities
- Prefabricated facilities
- Fully automated facilities

Maps showing the distribution of GSCC owned facilities are provided on pages 11 and 12. Also included on these maps are toilets at permanently staffed GSCC buildings, community centres, libraries and recreation centres. Where possible privately owned public toilet facilities such as those in service stations, carparks, shopping centres and retail stores have also been identified. Although these toilets supplement those owned by GSCC, they are often not clearly signed and may only be available to patrons of the establishment. Their quality and services are also subject to private management. These additional privately owned and GSCC owned public toilets have been mapped to provide information on the toilet block distribution. Assessments and recommendations have not been provided for these facilities as they are outside of the scope of works of this GSCC commissioned report.

The maps also show parks / sports precincts and retail areas. They highlight the under provision of public toilets in many of these areas, in particular on the eastern and northern sides of the Shepparton CBD and the over provision on the western side.



## Background

Facilities in Shepparton

Draft



Water Tower Gardens, Shepparton

### Traditional facilities

These conventional style toilets are typically older in style and constructed from solid brick and concrete. They have separate areas for each gender. They have separate access points and in some cases, complex internal layouts with partition walls. Designated female areas typically have washbasins, cubicles and occasionally a baby change table while male areas generally do not have baby change facilities but do have urinals. They generally have numerous cubicles to cater for multiple users. Accessible cubicles are usually provided within the separate male and female areas and none comply with current DDA standards. These facilities are generally only open during daylight hours, with the exception of a few which are open 24 hours. There are 13 of these style toilet blocks.



Western Block, Princess Park, Shepparton

### Sports use / events facilities

Some of these facilities are only available during sporting events while others are available during daylight hours. For those which are locked, keys are made available to sporting groups as required. Some of these buildings are stand alone and whilst others are attached to other sports use buildings. The layout of these buildings is typically similar to the traditional facilities with separate areas for each gender. There are 9 of these facilities.



All Abilities Playground, Shepparton

### Unisex, multiple cubicle facilities

This building is constructed from glazed, solid brick. This public toilet facility has multiple unisex cubicles joined together and is not fully automated. The cubicles open directly outside. There is only one of these facilities.



AF Larsen Reserve, Shepparton

### Unisex, single cubicle facilities

This style of toilet is typically comprised of solid brick. These facilities have only one cubicle at each location. The cubicles open directly outside. These facilities are not fully automated. There are three of these facilities.

# Background

Facilities in Shepparton

Draft



Judd Park, Merrigum

### Prefabricated non-automated facilities

There are two of these public toilet facilities in the region. One is a single unisex cubicle and the other has multiple male and female cubicles. Both buildings are made of corrugated iron. They do not have automatic doors, but do have features such as baby change tables and electric hand driers. The cubicles open directly outside.



Undera



Queens park Exeloo, Shepparton

### Fully automated facilities

There is only one fully automated public toilet facility in the Shepparton Region. It is located in Queens Park opposite the GSCC offices. This facility has three unisex toilets, all with fully automated door opening and locking. A timer automatically opens the door after a period of 15 minutes. Toilet flushing, hand dryers, soap and paper dispensing are also fully automated. The toilet also has a self cleaning function and is fitted with a baby change table.



**Shepparton public toilet facilities**

- 1 John McEwen Reserve, Soccer Surrounds, Brauman st
- 2 John McEwen Reserve, Lorna Tingay, Brauman st
- 3 Princess Park - (Goyva Reserve), Eastern Block, Quinan Parade
- 4 Princess Park - (McGregor Oval), Western Block, Quinan Parade
- 5 Shepparton Showgrounds
- 6 All abilities playground
- 7 Kilstown
- 8 CampFading Reserve
- 9 Harry Bird Reserve
- 10 Ducat Reserve



**Shepparton CBD public toilet facilities**

- Note: approximate 250m radius shown around location
- 12. Esceloo Quercus Gardens
  - 13. Quercus Gardens, Welford St
  - 14. Fraser Street
  - 15. John Pick Playground

**Public toilet facilities in Shepparton not included in assessments**

- 1 Shepparton Marketplae
- 2 Mobil, Archer St
- 3 Ampol, Archer St
- 4 Riverside Plaza, Riverview Dr
- 5 Shepparton Park Bowls Club, Rafferty Road



**Public toilet facilities in Shepparton CBD not included in assessments**

- 6. BP Eth Shepparton Goulburn Valley Hwy
- 7. Art Gallery
- 8. Goulburn Valley Regional Library

**Tourist / local attractions**

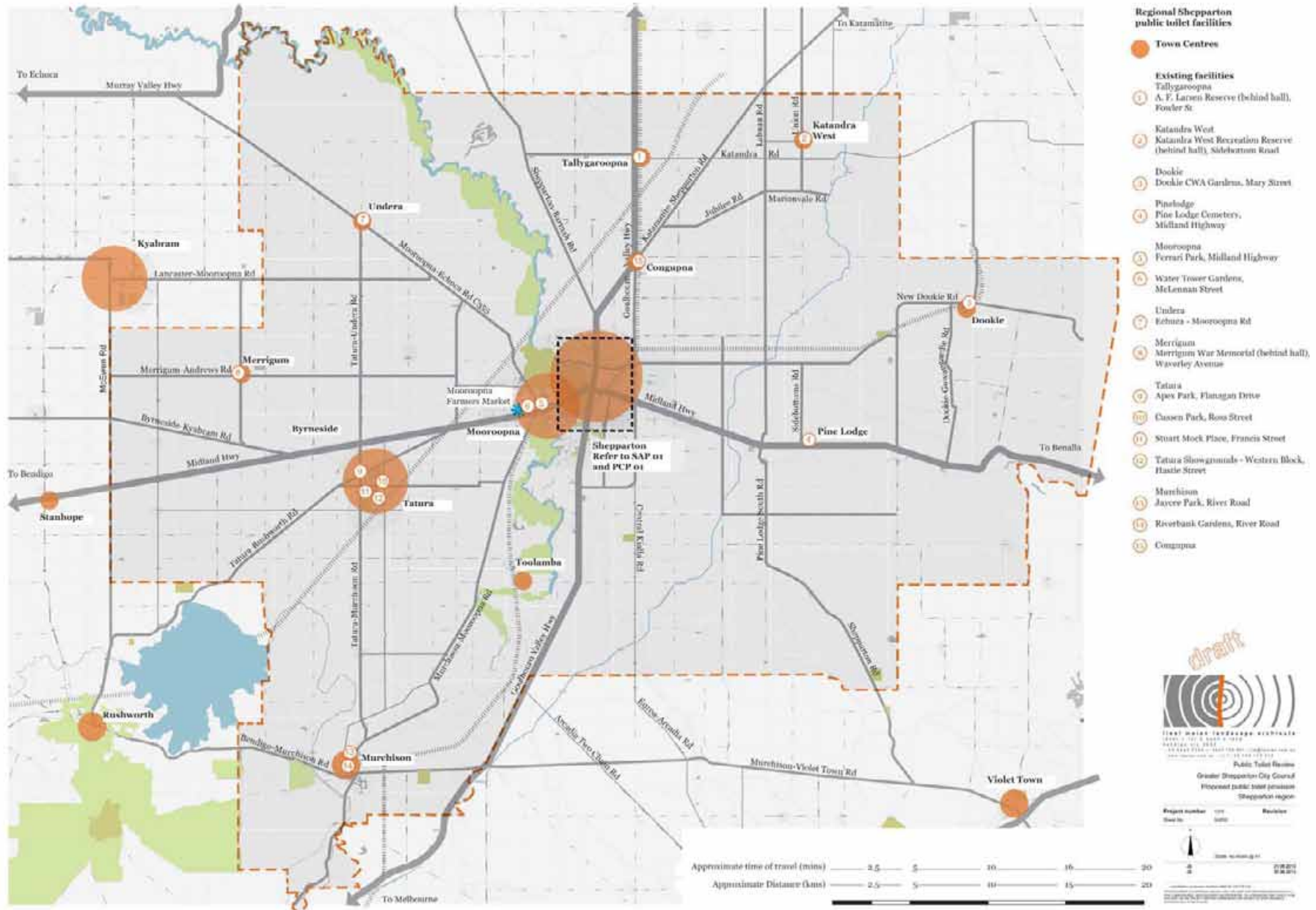
- Tourist Attraction
- Market
- Tourist Information
- Shepparton CBD
- Shepparton retail areas
- Parks and recreation Reserves

draft

Public Toilet Review  
Greater Shepparton City Council  
Assessing public toilet provision  
Shepparton CBD

Project number: 1213  
Start: 2012  
Revision: 1

Scale: As shown @ 1:10,000  
Date: 26.06.2013  
Author: [illegible]



## Background

### Recent works

Draft



*Recently installed public toilet facilities  
Undera*

Master plans are currently being prepared for a number of sites which will impact on public toilets listed in this review. These include the Ferrari Park, Maude Street and John Pick Playground facilities. Master plans for these sites include proposals to either upgrade or replace facilities.

In the last 10 years, GSCC has installed new facilities at Undera (in 2010) and the All Abilities playground (in 2005). A proprietary non-automated toilet was also installed at Judd Park, Merrigum in 2011. The first fully automated Exeloo was also installed in 2011 in the Queens Gardens.

The Fraser Street toilets were upgraded in 2012. These upgrades included new internal fixtures and finishes, new signage and the provision of a parents room.



*Recently installed public toilet facilities  
All Abilities Playground, Shepparton*

In addition to the toilets owned by GSCC, there are other publicly accessible toilets. These facilities, although often only available to patrons of the establishment, supplement the provision of public toilets in the municipality. These toilets have not been assessed, but have been listed on the location maps provided in this report.



*Recently upgraded facilities  
Fraser Park, Shepparton*

## Background

Relevant documents

Draft

The following documents were utilised as part of the research and planning for this public toilet review. These documents are listed in alphabetical order.

- Best Start Municipal Early Years Plan 2008-2010
- Greater Shepparton Community Engagement Strategy
- Greater Shepparton 2030 Strategy
- Greater Shepparton Council Plan 2009-2013
- Maude Street Bus Interchange, Streetscape Concept Plans North and South
- Shepparton Growth Corridors Development Contribution Plans, 2003
- North and South Shepparton Growth Corridors Outline Development Plan, 2003
- GSCC public toilet servicing schedules
- Safer City Strategy 2011-2014
- Shepparton CBD Strategy, October 2008
- Town Community Plans, Mooroopna, Tatura, Dookie, Merrigum, Murchison and other small towns

# Asset management

Existing asset management

Draft

## Maintenance

The majority of public toilets are maintained by GSCC staff. The exception is Kidstown, which is cleaned and maintained by Kidstown staff. The cost of maintenance of existing public toilets varies greatly at each site dependant on aspects such as the building structure, age and location.

Most of the public toilets assessed have maintenance problems. These range from structural issues, such as rotting wood roof supports, to inadequate drainage of floors causing metal frames to rust. Vandalism of toilets is also a significant issue in the Shepparton region. The high levels of vandalism have increased the maintenance required. The majority of these issues, where possible, have been noted and included in the individual assessments in the appendix of the report. They have also been considered, in the development of the Design Guidelines and Recommendations.

## Cleaning

Public toilets in Shepparton CBD, Mooroopna and Tatura are typically cleaned daily by GSCC staff. They are also cleaned on request if the need arises. Others, with the exception of the sports use facilities, are cleaned every other day, or once a week. Sports use facilities are generally cleaned by the sports groups using them after an event. The Shepparton Showgrounds toilets are also only cleaned after an event, but they are cleaned by GSCC staff. The Exeloo is self cleaning, but does require regular maintenance to ensure everything is working effectively.

Community feedback indicates that the majority of people are dissatisfied with the current cleaning frequency of public toilets. Increased numbers of daily and weekly cleans were requested. Suggested cleaning frequencies are provided in the Recommendations section of this report.

## Opening hours

Public toilet opening hours vary greatly in the Shepparton region. Sports use toilets provide restricted access to sports groups during sporting events. A number of these facilities were previously open every day to the public, but due to significant misuse and vandalism, the access was restricted. Some community members have requested that certain facilities be reopened to the public again. Such changes will need to be carefully considered.

Most other facilities are open to the general public during the day, but are closed at night. These hours should also be carefully considered. Recommendations for opening hours for all existing and new facilities are outlined in the Design Guidelines.

# Methodology

Our approach

Draft

Liesl Malan Landscape Architects is based in regional Victoria and we have over 10 years experience working in the Shepparton area. We understand the challenges of working in regional areas and appreciate the need to take a individual approach when responding to communities. We recognise that this is even more critical on large scale infrastructure projects such as the Public Toilet Review.

The diagram below outlines the International Association of Public Participation's approach to consultation. This approach, recognised as a world standard was used to guide the consultation process of this Public Toilet Review.

We understand the importance of listening to the local community at all stages of a project and we have ensured that the recommendations in this report are tailored to reflect the expressed needs of the people of Shepparton.

Our work focuses on providing quality, achievable and appropriate outcomes and our design work is always site appropriate, drawing on themes of local significance. We pride ourselves on creating places that are meaningful and appropriate to the people that use them.

We have employed our most experienced staff with backgrounds in both Urban and Regional Planning and Landscape Architecture to undertake this project. Their professional experience and qualifications has given them the skills to perform to a high professional standard while their personal experiences of parenthood, poor health and country living have provided the insight that ensures their work is appropriate to the needs of the community.

We strongly feel that Shepparton should, and can have, high quality, safe, universally accessible toilets that are appropriate for the local community. This report aims to outline how this can be achieved.



*International Association of Public Participation's approach to consultation*



# Methodology

Our approach

Draft

## **Stage 1 - Inception, data collection and research**

- Collation and review of background information and planning documentation.
- Mapping of facilities.
- Assessment of facilities.
- Research into best practice design methods .
- Facilitation of consultation meetings.
- Preparation and distribution of surveys.

## **Stage 2 - Draft Report**

- Summary of feedback from stage 1.
- Preparation of draft report which included, draft assessments, background, draft design guidelines, draft staging plan, draft costings.
- Presentation of draft report to GSCC and community for feedback.

## **Stage 3 - Final Report**

- Summary of feedback from Stage 2.
- Preparation of final report (assessments, background, design guidelines, staging plan, notional costings).
- Preparation of 10 year Capital Works Plan for inclusion in report.

## Methodology

DDA and structural assessment

Draft

Lloyd Payne of LP Building Consultants has undertaken assessments of the nominated toilet blocks. Lloyd is a registered Building Surveyor BSU-1582, Building Inspector INU-1244 and Structural Engineer EC-1447. Lloyd is suitably qualified to assess the condition of the construction of the toilets and comment on any structural aspects. Lloyd has also obtained a certificate in access appraisal - Buildings, issued by the Institute of Access Training Australia and is suitably qualified to assess the access compliance of the toilet blocks nominated.

The structural and access assessments were summarised and included in the individual assessment sheets in Appendices 1 and were used to guide the recommendations and design guidelines outlined in this report.

### Structural Maintenance

The specific areas of the toilet block have been visually inspected including the roof cladding, roof drainage roof frame, external and internal wall cladding and frames as well as the floor and the floor coverings. From this inspection any structural issues that were observed were included in the report and graded on their considered severity to the life of the building. For any significant issues identified they have been included in the comments section as well. This was not an exhaustive structural assessment of each building and the issues raised have been brought to GSCC's attention so that a specific action plan can be developed depending on the expected life of the specific toilet block.

### Access Requirements

Checking of the access requirements has been included to give GSCC an indication of what buildings have issues with regard to access by the disabled. A simple checklist developed in accordance with Australian Standard for access and mobility AS 1428.1-2009 was used. Note that as the majority of the facilities were constructed prior to this date, comments and an assessment in relation to AS1428-2001, which came into operation on 1st January 2002, were required. More detail on this is provided in Appendix 4.

This has not been an exhaustive assessment or appraisal. It was intended to highlight issues and concerns about the specified public toilets to Council. Further design advice regarding their relative seriousness and possible rectification measures should be sought before any design or construction work is undertaken.

# Methodology

## Consultation strategy

Draft

### Meetings

Consultation meetings with the community, representative groups and various stakeholders were held at stage one (the assessment and research stage) of the project. Feedback was actively promoted during these meetings. This approach was taken to ensure a thorough understanding of the issues and opportunities.

All consultation was undertaken in a manner consistent with the international Association of Public Participation, as outlined on page 16 and GSCC's Community Engagement Strategy. All relevant information and feedback provided at these meetings was then reviewed and included, where appropriate into this report. A draft report was presented to the GSCC on the 1st of July, 2013 with the final report submitted to GSCC on the XXXX. A list of organisations which were involved in the consultation meetings is provided below.

- Shepparton Access (DAC)
- GV Connect
- PAAC (Positive Ageing Advisory Committee)
- Local residents
- Retailer groups
- Safe Community Advisory Committee (including the CFA, DAC, GSCC staff, PAAC, Shepparton Chamber of Commerce, Shepparton Taxis and VicRoads)
- Victoria Police
- Vision Australia

### Survey

A survey was prepared by GSCC's communication department to obtain feedback on the current level of satisfaction with public toilets in the municipality. The survey did not provide detailed information such as usage data, but was intended to provide an opportunity for people unable to attend GSCC meetings to provide feedback on their experiences with public toilet facilities. This survey was made available on GSCC's web page on May 14, 2013. Hard copies of this survey were also made available through GSCC. All relevant survey feedback was then reviewed and included, where appropriate into this report.

### Media release

GSCC released a media article on May 14, 2013, to publicly advertise and provide information on the Public Toilet Review. A copy of this article is provided in the Appendices. It was also announced on GSCC's facebook page on May 13, 2013.

## Design guidelines

Guiding principles

Draft

### Crime Prevention Through Environmental Design (CPTED)

To ensure the maximum safety of public toilet users, the location, design and management of toilets should be consistent with Crime Prevention Through Environmental Design (CPTED) principles.

The principles focus on controlling the relationship between the physical environment and its users. As outlined in GSCC Safer City Strategy, they aim to "make crime more difficult to commit and less rewarding". CPTED is recognised in criminology and design fields as an effective method in reducing crime and the fear of crime in set locations. These principles provide guidance on the following.

- **Visibility** - Public toilets should be highly visible from the surrounding area and not hidden from the public
- **Access** - Entrances to public toilets should be clearly visible from the street and other public areas; and public toilets in or near playgrounds should be clearly visible from the playground. Access should not be obscured.
- **Light** - Maximum use of natural light in the public toilets, and if used after sunset, good artificial light in and around the facility
- **Location and proximity to other buildings** - Public toilets should be capable of natural surveillance from pedestrian activity and other building users. Other buildings or landscape features should not obscure the view of the public toilet.
- **Orientation** - Entrances should face towards areas of maximum pedestrian activity
- **Landscaping** - Should not obscure public toilet. Low planting is acceptable
- **Building materials and finishes** - Should be light in colour and a type of material that discourages graffiti and which is easy to maintain and clean.
- **Building design and cubicle configuration** - Design should be welcoming with cubicles having direct access to the public area, natural lighting to be maximised and light coloured surfaces

It is recommended that these principles be applied to all public toilets in the Shepparton region, both as a tool for ongoing assessment and also as a guide for all future works.

## Design guidelines

### Guiding principles

Draft



*Unisex, ambulant toilet sign*



*Unisex, disability access and baby change toilet sign*

#### Universal Design Principles

Universal Design principles should be applied to the design of all future public toilet facilities. This includes modifications to existing facilities and new facilities. These principles, summarised below, state that public places such as public toilets must be usable and accessible to the majority of people of all abilities.

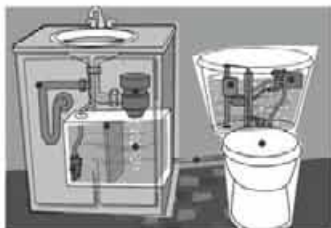
- Principle 1-Equitable Use  
The design does not disadvantage or stigmatise any group of users
- Principle 2-Flexibility in use  
The design accommodates a wide range of individual preferences and abilities
- Principle 3-Simple and intuitive use  
Use of the design is easy to understand, regardless of the users experience, knowledge, language skills or current concentration level
- Principle 4-Perceptible information  
The design communicates necessary information effectively to the user, regardless of ambient conditions or the user's sensory abilities
- Principle 5-Tolerance of error  
The design minimises hazards and the adverse consequences of accidental or unintended actions.
- Principle 6-Low physical effort  
The design can be used efficiently and comfortably with a minimum of fatigue
- Principle 7-Size and space for approach and use  
Provide appropriate size and space for approach, reach, manipulation, and use, regardless of a user's body size, posture or mobility.

All new public toilets should be designed to ensure that they also meet the requirements of the Australian Standard AS 1428.1 (Design for Access and Mobility) and the Federal Disability Discrimination Act.

## Design guidelines

### Guiding principles

Draft



Aquus water saving system, reuses sink water for flushing toilet  
[http://people.hws.edu/env301/PAC\\_Website/Water\\_Use\\_files/AQUUS%20Grey%20Water%20System.pdf](http://people.hws.edu/env301/PAC_Website/Water_Use_files/AQUUS%20Grey%20Water%20System.pdf)



Toilet with integrated sink reuses sink water for flushing toilet  
<http://www.caroma.com.au>



Water collection and reuse, PV cells and recycled materials used at the Eco toilets at Perth Zoo  
<http://www.perthzoo.wa.gov.au>



Solar panels on public toilet.  
 Image sourced from the internet.

### Environmentally sustainable design (ESD)

Public toilet facilities should be designed and constructed in accordance with ESD principles. Achieving zero net environmental impact should be the aim for all future public toilet works. Where this is not possible, all options to minimise their environmental impact should be explored. It is recommended that all future public toilet works aim to incorporate the following considerations;

#### Water and stormwater

- Water efficient appliances and fixtures.
- Water reuse from sinks in toilets.
- Rainwater tanks for catchment / reuse, water efficient appliances / fixtures.
- Water efficient landscaping.
- Water Sensitive Urban Design (WSUD).

#### Energy

- Good solar orientation.
- Energy efficient hot water systems
- Energy efficient lighting.
- Renewable energy systems.
- Energy efficient appliances.

#### Materials

- Retention of existing structures where possible.
- Re-use of existing materials.
- Use of recycled and environmentally friendly materials.
- Waste Management Plans for demolition and construction phases.

#### Indoor Environment Quality

- Provision of direct access to natural daylight.
- Provision of direct access to natural ventilation.
- Selection of low VOC materials.

#### Biodiversity

- Use of indigenous, low water use plants in landscaping.

#### Innovation

- Inclusion of innovative sustainable design solutions.

This review provides the opportunity for Shepparton to transform their public toilet facilities from being standard pieces of public infrastructure into a presentation of Shepparton's commitment to environmental sustainability. It is an opportunity to turn an essential part of daily life into a unique and educational experience.

# Design guidelines

Guiding principles

Draft

## Community feedback

This review has been prepared for the people of the Shepparton region and its visitors. The feedback received has been crucial to the development of this Public Toilet Review.

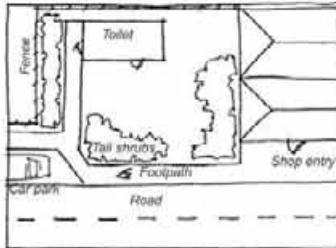
Invitations to provide feedback, were provided through a variety of media including meetings, surveys and media releases. All relevant feedback was incorporated in the individual toilet block facility assessments. Feedback has also been acknowledged throughout the guidelines and recommendations.

This report does not aim to provide a standard approach to guiding the provision of public toilet facilities. Using feedback from the community, extensive knowledge of the region and thorough research into best practice design for public toilet facilities, it will provide design guidelines which are unique and specifically tailored to the Shepparton community and local environment.

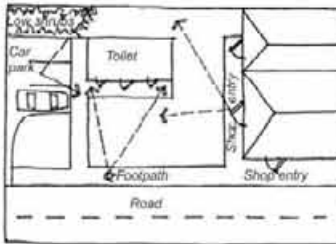
# Design guidelines

## Location

Draft



No clear views to building



Clear views to building from all sides

### Visibility

CPTED principles emphasise that public toilet buildings should be highly visible from surrounding activity areas and people passing by. They should not be hidden from public view. Landscape features and other buildings should not restrict views to the public toilet and external hiding places should be minimised. It is important that users feel safe when entering and using the facility and increasing visual access to the facility will help increase their perception of safety.

High visibility is also important to reduce confusion when trying to find the facility and to increase patronage. It was noted that a number of facilities in the Shepparton region are quite difficult to find. It is also recognised that there is often a sense of urgency when people need public toilet facilities. All facilities should therefore be highly visible from the designated areas of approach such as the highway, town centre or pedestrian path. If this is not achievable, clear and prominent signage must be provided.



Clear views to toilet from bus interchange and office buildings  
Civic, Canberra



Public toilet clearly visible from road and businesses  
Elmore



## Design guidelines

### Location

Draft



Toilet located in residential area and disused sports field  
Ducats Reserve, Shepparton



Toilet close to playground and BBQ area  
Judd Park, Merrigum



Toilet close to main road  
Undera



Toilet is located in area of high retail activity.  
Tower Gardens, Mooroopna

### Siting

Finding the appropriate site for a public toilet facility is crucial to ensure maximum use. This is important, as CPTED principles outline, the more a public toilet is used for the designated purpose, the safer people will feel using it.

To ensure maximum use of public toilet facilities, it is recommended that public toilets in the Shepparton region are only located where the following criteria can be met;

- They are as close as practicable to footpaths, streets and car parking.
- They are highly visible from all or most directions.
- There are high levels of pedestrian traffic or in rural towns, there is a regular flow of vehicular traffic.
- They are opposite or adjacent to a building that provides an opportunity for casual surveillance.
- They are near to regularly used activity areas such as BBQ areas or sports facilities.

Also, where possible, toilet block facilities should not be located near items such as seats, notice boards or public telephones which may legitimise loitering.

Currently, there are no recognised published standards for the desirable or maximum distances between public toilet facilities in CBD and major retail areas. Public toilet reviews and strategies such as those by La Trobe City and Melbourne City Council recommend a maximum distance of 500 metres between facilities in urban areas and shopping precincts. This appears to have become the evolving standard. It ensures that there is a maximum walking distance of 250 metres to reach a toilet in these areas. It is recommended that this principle be adopted by GSCC.

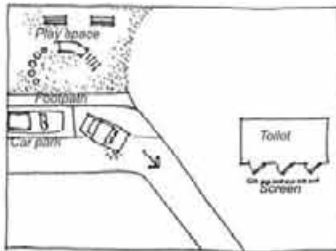
In high activity areas outside of the CBD, it is appropriate for toilet block facilities to be located further apart. It is recognised that people are likely to drive to these areas and participate in activities from a base point near that area.

The distance between toilet blocks at a regional scale is dependent on driving distance and proximity to destination points such as tourist attractions and other town centres. There are no recommended guidelines for the suggested driving distance between public toilets, however, 15 minutes has been reported to be the maximum time in which a person with health problems or disabilities is able to wait to use a toilet. Therefore, it is recommended that toilets outside of the major CBD areas be located no further than 15 minutes driving distance apart.

# Design guidelines

## Proximity

Draft



Toilet entries face away from road, parking and activity areas

### Access and orientation

CPTED principles state that the entrance to all public toilet facilities should be oriented towards the most actively used public space. This may be a playground, picnic area, sports reserve or car park. Increasing visual access into the facility will help deter criminal activity and increase the safety of users.

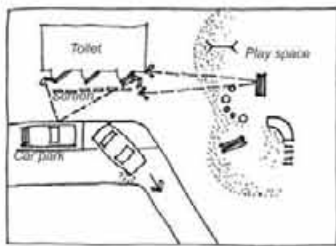
Access to public toilet facilities should be easy for both able bodied people and people with disabilities. There should be a minimum 1.5 metres wide sealed footpath for wheelchair users and parents with prams and strollers. Footpaths should not be steeper than 1:50 with a maximum cross fall of 1:40 sloping away from building.

Where possible, steps and ramps should be avoided. Compliant ramps may be used, as required where steeper gradients do not allow access.

Designs should follow all disability and universal access guidelines, in regard to both general access and car parking. For legal requirements please refer to AS1428 and AS2890.

Drainage both of rainwater and from cleaning should not be allowed to pool at entrances or inside facilities. The building should be designed to ensure all water drains away effectively.

The building should be oriented to maximise natural light and ventilation. It should be oriented north, and oriented to maximise solar power if this is a consideration.



Sketch - building orientation



Toilet entry oriented towards main road Elmore

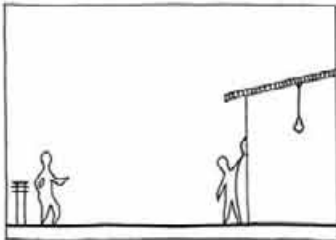


Toilet entry oriented towards quiet area of mall. Entry obscured by tower, trees and infrastructure Fraser Street, Shepparton

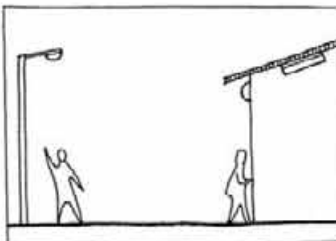
# Design guidelines

## Proximity

Draft



All artificial lighting elements within reach and able to be vandalised



All artificial lighting elements out of reach reducing opportunities for vandalism

### Lighting

Lighting levels should ensure that people can see easily and feel safe within public toilet facilities.

Where possible, there should be maximum use of natural light during daylight hours. The building design should provide good natural light through the use of wide entrances, skylights, gaps and grilles. The use of robust, low maintenance, light coloured, reflective and opaque materials should also be explored. If it is impossible to achieve adequate natural light inside the facility, then solar powered lighting should be provided.

The need for lighting at night should be determined prior to its installation. Lighting after dark may provide opportunities for undesirable activity. With the exception of sites that will be used at night, this report recommends that the majority of public toilet facilities should not be open at night. Where sites do require night time use, it is crucial that good artificial lighting be provided in the facility, the surrounding area and along all access areas to the facility entrance.

All artificial lighting, should be robust, vandal resistant and mounted high. Lighting should provide an even spread of light where natural light is not possible. Dark areas should not be created. All lighting should be appropriate for visually impaired users and should meet all relevant Australian Standards.



Gap between top of wall and roof increases natural light inside facility. All Abilities Playground, Shepparton



Skylights increase natural light. Undera



Transparent walls increase natural light and add visual interest <http://www.plataformaarquitectura.cl/2011/10/11/banos-publicos-parque-urquiza-diego-jobell/>



Perspex and perforated steel provide natural light and ventilation, but restrict access. Bendigo

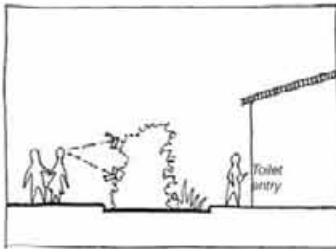


Steel slats provide natural light and ventilation, but restrict access. Image sourced from the internet

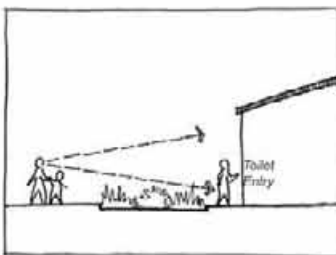
# Design guidelines

## Proximity

Draft



High planting around toilet block restricts views



Low planting around toilet block does not restrict views



Low planting around toilet block does not restrict views  
Judd Park, Merrigum

### Vegetation

It has been highlighted by the community that well maintained planting makes a public toilet facility appear 'cared for' and more welcoming. CPTED principles state however that landscaping should not obscure the public toilet.

It is recommended that, where appropriate, low (below 700 mm high), well maintained planting be provided to create a positive impression of the facility without obscuring sight lines. To ensure low water use and plant health, plants should be drought tolerant, preferably indigenous species. Garden beds should be mulched. The use of recycled or reclaimed water is recommended.

It is recommended that all future planting designs and decisions be undertaken in consultation with GSCC's management team to help determine the best approach.

# Design guidelines

## Proximity

Draft



Signage to parents room, highlighted by teddy and baby images Civic, Canberra Centre

### Signage

The entrance to the public toilet facility should be clear and obvious to all users. It should meet the needs of people with visual impairments and language constraints. Braille should also be provided. It should also meet all relevant Australian Standards. Both directional and labelling signage should be provided.

Directional signage should clearly direct users to the facility from major activity areas and access roads / paths. Where appropriate, it should also provide additional information such as distance to toilet, proximity to cycle path or directions to the town centre.

Members of the local community have requested that GSCC develop a signage strategy, outlining a standard suite of signage for all public toilet facilities in the region. Although it is recognised that there is need for such a project, the development of signage beyond the immediate toilet facility areas is not part of this review. It is recommended, however, that a signage strategy be developed to support this document and provide an holistic plan for public infrastructure signage in the region.



Symbols and gender specific colours highlight entries to Public toilet in Sanctuary Lakes Shopping Centre

There is an opportunity to create a feature of signage elements, using materials, colours and forms, appropriate to the region. This would provide Shepparton with facilities that are unique and clearly identifiable as Shepparton's. The designated user group, such as male, female, unisex, parents and people with disabilities, should be easily identifiable through symbols. The local community have expressed that it is important that symbols and signage are not designed in any way that could cause confusion.

Opening and closing times should be clearly displayed. GSCC's contact number for maintenance problems should also be listed. Signs should be created from robust, graffiti resistant materials.

Concern has been raised that not all of the GSCC owned public toilets facilities are listed on the national government's National Public Toilet Map and GSCC's own map. It is recommended that GSCC review these lists, and provide regular updates to ensure the correct information is provided. GSCC should also explore listing their toilet facilities on other websites and mobile phone apps such as the breastfeeding map and the Just in Time app.



Opportunity for signage to be incorporated into public infrastructure [http://commons.wikimedia.org/wiki/File:HK\\_Sheung\\_Wan\\_Wellington\\_Street\\_Public\\_Toilet\\_basement\\_sgn\\_Banister\\_view\\_Grand\\_Millennium\\_Plaza.jpg](http://commons.wikimedia.org/wiki/File:HK_Sheung_Wan_Wellington_Street_Public_Toilet_basement_sgn_Banister_view_Grand_Millennium_Plaza.jpg)



Opportunities to use Council and local themes to create unique, identifiable signage.



Opportunity to create visual interest with signage <http://bruteforcecollaborative.com/wordpress/2010/08/26/elevating-the-discourse-public-toilets-pt-2/>

## Design guidelines

### Proximity

Draft



*Accessible car park for people with disabilities*

#### **Parking**

Where appropriate, public toilets should be located close to car parks. In accordance with AS1428, it is recommended that at least one disabled car park be located at each facility.

Where public toilets are located in CBD areas, free 15 minute parking should be available. Where appropriate, such as near parenting and breastfeeding facilities, parking should be provided for parents with prams.

In locations where there is likely to be high use by cyclists, racks which allow for bike to be locked, should be provided.

## Design guidelines

### Building materials and character

Draft



*Opportunity to use walls to create feature or to incorporate public art elements*

The local community have expressed that they want their public toilets to appear welcoming. They feel that they should provide a good first impression. This means that they must appear to be well maintained and clean. The materials used in their construction must also be appropriate. They should complement the surrounding land uses and built form, and also have something unique and inviting about them. They should not appear to be cold, dark and uninhabited.

It is recommended that GSCC explore options to create a feature of their public toilets. Through the innovative use of materials and built form and with the incorporation of public art and local themes in the building design, they could greatly improve public perception of these buildings.



*Coloured brick pattern detracts from residual graffiti*  
*All Abilities Playground, Shepparton*

#### Walls

The appearance of all exterior walls should relate to the building form and be sympathetic to the surrounding environment. They should be of an appropriate scale, material and colour. They should be constructed of robust, long lasting materials.

Interior and exterior walls should be designed to reduce opportunities for graffiti. When graffiti does occur, it should be removed within 24 hours. Prompt removal is proven to discourage future graffiti and also reduces the development of a negative impression of the facility.

Plain walls can form a blank canvas, attracting graffiti. The use of coloured bricks or mortar arranged in deliberate patterns should be explored to reduce this appeal. This would add visual interest and provide branding opportunities for the facilities. This treatment would also detract from any residual graffiti often apparent after cleaning. To make removal easier, all brick walls should also be treated with an appropriate anti-graffiti coating.



*Timber screens soften building facade and make building feel welcoming*  
*<http://www.landmarkpro.com.au>*

Where appropriate, wall tiles may be used on the interior. Their use is to be minimised, however, as they can be difficult to match when replacement is required. The majority of the tiles should be light in colour to increase natural light. Coloured tiles may be used, however, to create deliberate patterns, add visual interest and detract from any graffiti. Grout should be coloured or dark to disguise any graffiti paint which may be absorbed in the grout. ASA Epoxy Megagrout or a similar approved product is recommended.

Where flat, brick exterior walls are to be refurbished, or are required, they should be painted with a bright or light colour that is easy to colour match. Opportunities to add visual interest and improve practicality of building facade should be explored. This may include options such as colouring sections of the walls in separate colours. This would add visual interest and allow for easier touch ups when repainting is required. It would also mean that when sections of walls are repainted, there would not be an obvious contrast between older, faded paintwork and the new paintwork. To make graffiti removal easier, all painted walls should be treated with an appropriate anti-graffiti coating.

# Design guidelines

## Building materials and character

Draft



*Brick and glass grills do not allow adequate natural light  
Shepparton Show grounds, Shepparton*

Where bricks are not appropriate, other robust, graffiti resistant, easy to clean materials such as corrugated iron or metal sheeting should be used. It is recommended however that these materials are used sparingly or used in out of reach areas as they are not resistant to etching and cannot be painted over easily.

Where possible, there should be a continuous gap in the brickwork between the roof and wall. This would increase natural light and ventilation. Where required, this may be covered with a non-climbable grill or battens. These grills and battens should be designed to maximise natural light and ventilation.



*P-Kight painted grills provide natural light and ventilation, but restrict access.  
Fraser Street, Shepparton*

Any traditional maze style entries should be removed during refurbishments. Exterior entrance walls and screens should be built with translucent materials such as perforated steel or slatted timbers to increase natural light and visibility. These walls should have a gap at the bottom and the top to maximise ventilation. These walls must still provide privacy inside the cubicles and ensure that any areas which may be used as change facilities are out of direct sight lines. An opportunity exists to create a feature of these walls to highlight and create a sense of invitation at the entry.



*Steel bar screens. Bendigo Taxi Rank.*



*Perforated steel screens.  
<http://www.cocoonedesign.com.au/g-our-workpublic-amenities-refurbishments>*



*Slatted timber grills  
Undera*



## Design guidelines

### Building materials and character

Draft



Open areas between wall and roof provide good ventilation and present opportunity for interesting design elements  
Image sourced from the internet



Light roof structure creates welcoming, light feel to toilet building at Perth Zoo  
<http://www.perthzoo.wa.gov.au>



Outside sink protected by roof overhang in this prefabricated public toilet  
<http://www.landmarkpro.com.au>

#### Roof

The roof structure and appearance should be appropriate to the building form and sympathetic to the surrounding environment. It should be of an appropriate colour, height and shape. It should be constructed of long lasting, easily replaceable materials such as 'Colorbond' or zincalume sheeting and flashing and all fixings should be standard items. This will ensure that damaged sections can easily be replaced.

As previously outlined, gaps between the roof and wall should be provided to increase natural light and ventilation. The roof must be designed to ensure protection from prevailing weather. This includes weather protection for areas around any external wash basins and entries. Protected areas must be provided externally to protect people waiting for the toilet. Where appropriate, skylights should be installed to increase natural light. These should be designed with extra reinforcement or safety mesh to ensure they can withstand human body weight. They should also be designed to minimise any build up of plant debris which could restrict light and cause ongoing maintenance problems.

Where appropriate, the roof should be designed to allow for storm water collection and reuse. It should also have a northerly aspect to provide an opportunity for the installation of solar power, either in the short or long term.



Large opening between top of wall and roof allows excellent natural light and ventilation. All Abilities Playground, Shepparton

## Design guidelines

### Building materials and character

Draft



*Door damaged and incorrect size  
Riverbank Gardens, Murchison*

#### Doors

Doors at many of the assessed facilities were not appropriately sized. External doorways should be wide enough to provide access for all users. All internal doorways to facilities which cater for parents and people with disabilities should be wide enough to allow access for these user groups including wheelchairs and double prams. A minimum door width of 855cm would allow for access by all users. There should be no corners to navigate around in the facility entries. All external doorways should be well lit and clearly visible. The doors colour should contrast the building surround to help highlight entry.

All doors should be 100mm above floor level to ensure the toilet can be easily hosed out. Doors do not need to fill the frame. Doors must provide privacy inside the cubicles and ensure that any areas which may be used as change facilities are out of direct sight lines. All doors should be outward opening to allow access if a person collapses behind them.

Doors to many of the assessed facilities were badly damaged and were not closing or locking effectively. Doors appeared to be one of the most vandalised and difficult to maintain features on public toilet facilities in the Shepparton region. All doors and fixings are to be made of scratch resistant, robust, easily repainted materials. All fixings are to be designed to reduce opportunities for damage or removal. They may be designed to include translucent materials to increase natural light and ventilation.



*Damaged door  
Ferruri Park Shepparton*

Internal doors must have internal locks which indicate usage and provide privacy. Locks must be provided to all doors where the public toilet facilities are only used during events or daylight hours. External doors to these toilets must have maximum gaps of 100mm at the top and bottom to ensure people cannot break in after hours. Internal doors should also be fitted with hooks and be graffiti resistant and easy to clean.



*Coloured doors provide visual interest and contrast and clearly highlight entry.  
<http://www.cocoondesign.com.au>*



*Coloured doors provide visual interest and contrast and clearly highlight entry.  
<http://www.landmarkpro.com.au>*

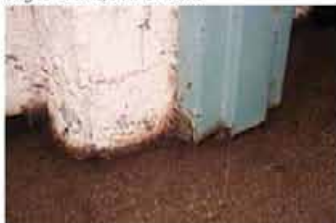
# Design guidelines

## Building materials and character

Draft



*Building floor does not drain effectively. Holes have been drilled into wall to help water drain out. Jaycee Park, Murchison.*



*Inadequate drainage has caused internal walls to rust and deteriorate. Jaycee Park, Murchison.*



*Tiled floor and wall finishes  
<http://www.cocoondesign.com.au>*

### Floor

Many of the toilets assessed had very poor or no floor drainage. As a result, water had pooled inside the facilities. To alleviate this problem, holes had been drilled into external walls and floors had been screed with concrete to try to drain the floor to the buildings exterior. These alterations had varying levels of effectiveness.

Floors to all future public toilet facilities must slope to an internal drain to prevent the pooling of water inside or around the facility. Where possible, this drain should be located near hand basins. The drain should have a vandal proof, removable, stainless steel grate. This will facilitate easy cleaning and reduce opportunities for injury due to slipping.

Concrete flooring, when used, should be finished with a non-slip, epoxy paint or similar material that is fireproof, hard wearing and able to be hosed down. Opportunities to use non-slip tiles or other finishes should also be explored.

### Ceiling

Ceilings should be constructed from a durable, vandal and fire resistant material. They should be light coloured to increase natural light. They should be a minimum of 2700mm high. The building design should ensure that opportunities for birds and insects to nest in or on the ceiling / roof structure are minimised.



*Galvanised finish to ceiling makes building interior dark  
John McEwen Reserve*



*Light coloured paint finish on ceiling reflects and increases natural light  
Undera*

## Design guidelines

### Building materials and character

Draft



Stainless steel mirror and sink  
Fraser Park, Shepparton

#### Windows and mirrors

To reduce opportunities for vandalism, glass windows and mirrors should be avoided. The use of materials such as perforated or expanded mesh should be explored. Where possible, openings should be incorporated to provide ventilation and light. Polished stainless steel or other vandal resistant materials should be used as an alternative to glass mirrors. It is recognised that stainless steel mirrors may require more maintenance by cleaning staff, but, given the high levels of vandalism in the region, they are recommended as they reduce the opportunity for injury caused by broken glass and the need for ongoing mirror replacement.



Toilet roll dispenser which has been set on fire  
Ducat Reserve, Shepparton

#### Fittings and Fixtures

All fixtures and fittings should be practical, robust and vandal resistant. It is recommended that GSCC develop a guide to outline standard specifications for all fixtures, fittings and materials in GSCC owned public toilets. These specifications should include options for fully automated and manual fittings and fixtures. This will ensure consistency in quality and appearance in both new and refurbished facilities. It will also ensure easy replacement. It is recommended that where more than 2 cubicles are provided and where appropriate, external sinks / handwashing areas are provided.

#### Fire prevention

The lighting of fires in public toilets is of particular concern in Shepparton. Where ever possible, non-flammable materials should be used in public toilets. Any opportunities to start fires should be minimised, and materials should not encourage flames to spread.

#### Security and opening hours

Many public toilet facilities in Shepparton have had their opening hours altered to discourage misuse. Opening and closing times for each facility should be site specific. It is recommended that most sites do not provide access after 8pm. If a toilet block is not intended to be used at night it should not be lit and access should be restricted to avoid misuse or unwanted activity.



Sign indicating MLAK system at all abilities playground

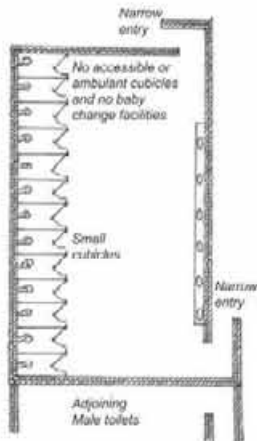
Privately owned service stations and road houses may provide facilities for travellers at night. Where these services exist but public toilets are not provided, and are required, GSCC should explore opportunities to develop partnerships to provide them. Partnerships with businesses such as chemists and shopping centres may be explored to provide facilities for parents.

CBD areas will require public toilets to be open during business hours. Facilities in sporting precincts will require toilets to be open during sporting activities. People with disabilities and health problems may require accessible toilets 24 hours a day. Where deemed safe, (MLAK Master Locksmiths Access Key) locks should be provided. Opening, closing and cleaning times should be provided at each facility, along with the Council's contact number to report maintenance problems.

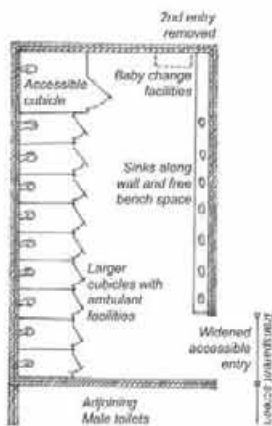
# Design guidelines

## Building configuration

Draft



Existing large toilet block layout



Refurbished large toilet block layout

### Public toilet facility design and cubicle provision

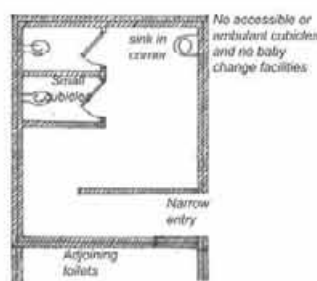
The cubicle configuration of GSCC owned public toilets varies greatly. The majority of the toilets are older in style with separate areas for each gender. The more contemporary toilets have unisex, male / female and accessible cubicles which open directly outside. The Udera public toilet is an example of this type of facility.

This approach to public toilet design is supported by CPTED principles. It provides a safer environment and also greater flexibility for users. It is recommended that all new and replacement public toilets be designed this way. Where possible, all existing toilets should be redesigned and refurbished to similarly open directly outside with a communal, exterior washbasin. If this is not physically possible, the building layout should be simplified and any unnecessary internal or external partition walls should be removed. Where appropriate these walls should be replaced with transparent screens.

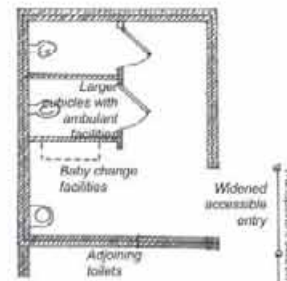
The number and type of cubicles at each public toilet should be appropriate to the number of users and user groups. Where sites are subject to greatly increased numbers for special events, then it is recommended that portable facilities are delivered to the site during these times. Proposals for each site are provided in the recommendations section.

The following sections provide guidance on basic cubicle configuration and provision. Simple floor plans have been provided. These are based on current relevant standards but are concepts only and are not to scale. They, along with the design guidelines, are intended to form the basis for any new, replacement or refurbished toilets. Please note that these floor plans are just starting points. The proposed site will determine the final design details. They are not to be used for construction purposes. All detailed design and documentation must be in accordance with relevant standards and practice.

The sketch plans provided on this page, provide an example of how simple building changes can improve building performance. The sketch plans on the following pages provide building configuration options for existing public toilets of varying scales. Please refer to the recommendations section for site specific information.



Existing small toilet block layout

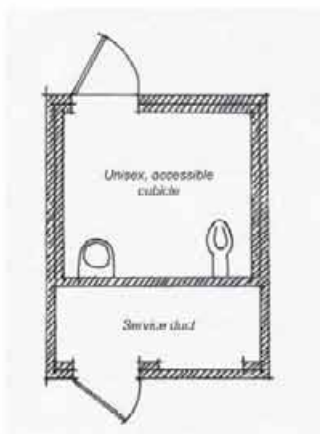


Refurbished small toilet block layout

# Design guidelines

## Building configuration

Draft

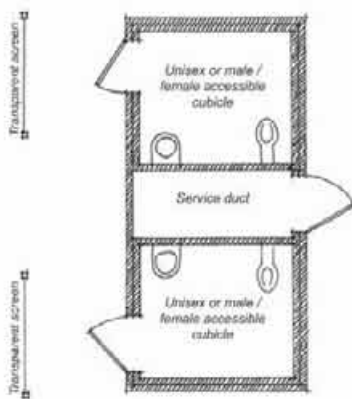


Single, accessible unisex cubicle

### Public toilet facility type 1

- 1 x unisex, accessible cubicle
- Baby change facility (in unisex accessible cubicle)
- Service duct

This type of facility is recommended for low activity, regularly used areas such as small town road side stops. There are options to change door locations and the internal layout of this type of facility.



1 x male and female or 2 x unisex and accessible cubicles

### Public toilet facility type 2

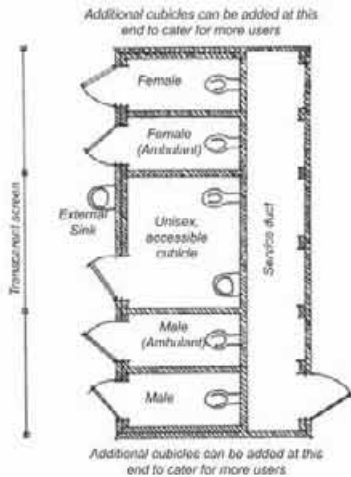
- 2 x unisex, accessible cubicle
- Baby change facility (in unisex accessible cubicle)
- Service duct
- Transparent screens

This type of facility is recommended for low to medium activity, regularly used areas such as parks and picnic areas. There are options to change door and screen locations and the internal layout of this type of facility.

# Design guidelines

## Building configuration

Draft

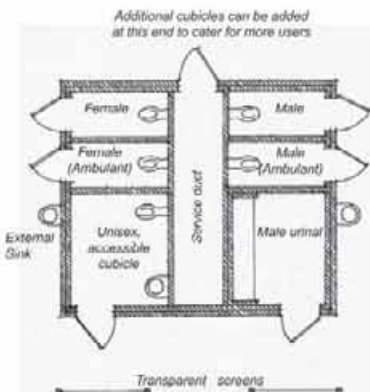


Male and female cubicles with separate unisex accessible cubicle

### Public toilet facility type 3

- 1 x unisex, accessible cubicle.
- Baby change facility (in unisex accessible cubicle).
- Service duct.
- Multiple male and female cubicles (one ambulant for each).
- Transparent screens.
- Covered external sink / hand washing area.

This type of facility is recommended for medium to high activity areas such as regional play spaces and retail precincts. There are options to change the door locations and the internal layout of the unisex cubicle at this type of facility. Additional cubicles may also be added to cater for more users.



Male and female cubicles with separate accessible cubicle and male urinal

### Public toilet facility type 4

- 1 x unisex, accessible cubicle.
- Baby change facility (in unisex accessible cubicle).
- Service duct.
- Multiple male and female cubicles (one ambulant for each).
- Transparent screens.
- Covered external sink / hand washing area.
- Separate male urinal.

This type of facility is recommended for medium to high activity areas such as regional play spaces and retail precincts. There are options to change the door locations and the internal layout of the unisex cubicle at this type of facility. Additional cubicles may also be added to cater for more users.

## Design guidelines

### Building configuration

Draft



*Change table at the Water Tower Gardens facilities is in poor condition and unsafe*

#### Facilities for parents and families

Parent rooms provide a safe area for families to attend to their children's toilet and feeding needs. They also provide a place where parents and children can all use public toilets in a safe environment.

Like all specialist facilities, parents' rooms will draw families to particular areas. It is recommended that parents' rooms be provided at locations where families will want to stay for long periods of time. This includes CBD areas and regional play spaces / parks. Parents' rooms must be open and available to parents during peak activity times in these areas.



*Parents' room, baby change area Merrylands, Sydney  
<http://bubfriendly.com/2012/08/stockland-merrylands-parents-room-merrylands-sydney-australia/>*

All parents' rooms must allow access and space for double prams. They should also provide space for other children and parents to wait comfortably. It is recommended that where possible, play equipment be provided to help occupy children while their parents are attending to another child. Opportunities to create colourful interactive spaces should be explored in the design of parents' rooms.

These rooms should also be practical and provide all the facilities needed for feeding and changing children. This includes, change tables, nappy bins, microwaves, sinks and seats. Adults toilets must be provided and, where possible, children's toilets should also be provided.



*Parents' room, children's play area Merrylands, Sydney  
<http://bubfriendly.com/2012/08/stockland-merrylands-parents-room-merrylands-sydney-australia/>*

It is recommended that where parents' rooms cannot be provided, all accessible toilets should provide fold down baby change tables and nappy bins. Cubicles should open directly to the outside to enable parents to wait close by for children, while still letting them have their privacy. This also means that parents can always accompany children of the opposite sex to them to the cubicle door. This building arrangement also accords with CPTED principles for access.



*Parents room, children's and adults toilets Merrylands, Sydney  
<http://bubfriendly.com/2012/08/stockland-merrylands-parents-room-merrylands-sydney-australia/>*



*Parent's room Melbourne Zoo  
<http://www.zoo.org.au/melbourne/plan-your-visit/facilities-and-venue-hire/services-and-facilities>*



## Design guidelines

### Building configuration

Draft



*Breastfeeding areas shown above do not provide privacy, have very little space and are located next to nappy bins, which can smell unpleasant*  
<http://breastfeedinganywhere.wordpress.com/>

#### Breastfeeding rooms

Statistics suggest that breast feeding rates in Shepparton are low compared to the state average. Greater Shepparton's Best Start Municipal Early Years Plan 2008-2010 aims to "Take action to make Greater Shepparton a Breast feeding Friendly City". It proposes signing of breast feeding friendly venues and creating a breast feeding map of these venues. Most existing facilities are associated with private businesses. These may only be available to patrons, however, and do not allow for absolute privacy. It is recommended that breast feeding rooms be provided at locations where families are likely to stay for long periods of time and will not be able to find privacy. This includes CBD areas and regional play spaces / parks. It is also recommended that these rooms are marked on Shepparton's breast feeding map. Breastfeeding rooms must be open and available to parents during peak activity times in the area.



*Recently renovated Fraser Street breastfeeding room is welcoming, has adjacent play area but does not provide complete privacy*

All breastfeeding rooms must allow access for double prams. They should also provide space for other children and parents to wait comfortably. It is recommended that where possible, play equipment be provided for children, to help occupy them while their mothers are attending to a younger child.

Mothers are likely to spend a significant amount of time in breastfeeding rooms, so they need to be made comfortable. Nappy bins should not be located adjacent to seats provided for feeding, as they can smell unpleasant and discourage use. Where possible, nappy bins should be provided in a separate area.

Many mothers feel uncomfortable not only breastfeeding in public areas, but also breastfeeding in front of other mothers. Where possible, breastfeeding rooms should provide private rooms or cubicles with doors or screens.



*Private, lockable breastfeeding room with children's play area, Merrylands, Sydney*  
<http://bubfriendly.com/2012/08/stockland-merrylands-parents-room-merrylands-sydney-australia/>



*Breast feeding areas at Melbourne Central Shopping Centre provide complete privacy, adequate space and nearby play areas for older children*  
<http://clarecousins.com.au/projects/parents-retreat-melbourne-central/>

## Design guidelines

### Building configuration

Draft



*Ambulant facilities, Bendigo Taxi Rank*



*Basic accessible cubicle for people with disabilities, Undera*

#### Facilities for people with disabilities

Significant concern was raised during consultation in regard to the lack of adequate cubicles for people with disabilities. In rural areas and regional cities such as Shepparton, people often drive long distances between towns and spend long periods of time in town. Many people commented that they had to plan their days and driving routes around the limited supply of suitable accessible public toilets. Others noted that the limitations of accessible public toilets prevented them from being able to leave home at all. Many people have no choice but to make do with the existing facilities. This may mean changing a person on a toilet floor, or risking injury to a fall. Carers also risk their health by trying to lift or bend over the person they are caring for.

People with disabilities should not be discriminated against. This report recommends that all refurbished, replacement and new toilets provide access for mobility impaired persons or wheelchair users. It is recommended that GSCC aim to provide a minimum of one accessible cubicle for each gender or an accessible unisex cubicle at every public toilet block. This cubicle should include baby change facilities and be wide enough to fit a double pram. It is also recommended that separate ambulant facilities be provided at each site. These facilities can generally be accommodated in a standard cubicle.

This report provides GSCC with an opportunity to set a new standard for universally accessible toilets and to be seen to be a leader in public toilet design.

As outlined in the building regulation requirements outlined on page XXXX by LP Building Consultants, should the GSCC undertake any work on any of their toilet blocks then it would need to be fully upgraded to meet AS1428.1-2009 unless there is an existing compliant AS1428.1-2001 accessible toilet.

Where it is not physically possible to meet current accessibility standards, The most critical considerations to the design and construction of accessible toilets are;

- Ensuring access to the facility and close accessible car spaces.
- Lockable doors.
- Adequate circulation space in doorway to enable wheelchair manoeuvrability.
- Adequate internal circulation space to enable wheelchair manoeuvrability for safe transfer and use of fixtures.
- Appropriate placement of fittings and fixtures.
- Access out of standard business hours via MLAK.

## Design guidelines

### Building configuration

Draft



Bench at the All Abilities Playground toilets provides an off ground area for adult change but it is not private, practical, safe or comfortable



Fold down adult change table  
<http://www.paramobility.com.au/change-and-therapy-tables.php>



Hoist and fold down, adjustable adult change table  
<http://thomleyactivitycentre.org/take-a-tour/changing-places-accredited-toilets/>



Changing Places adult change facilities with privacy screen.  
[http://www.pamis.org.uk/\\_page.php?id=28](http://www.pamis.org.uk/_page.php?id=28)

#### Facilities for people with disabilities

Changing places is a consortium that is campaigning for the provision of facilities for people with profound and multiple learning disabilities, as well as other serious impairments such as spinal injuries, muscular dystrophy or an acquired brain injury and their carers. Standard disabled toilets do not meet the needs of all people with disabilities or their carers. Changing Places toilets are designed specifically for people with disabilities who cannot use standard accessible public toilets. An outline of their requirements and a weblink are provided below.

<http://www.changing-places.org/>

#### Equipment

- a height adjustable adult-sized changing bench.
- a tracking hoist system, or mobile hoist if this is not possible.

#### Enough space

- adequate space in the changing area for the disabled person and up to two carers.
- a centrally placed toilet with room either side for the carers.
- a screen or curtain to allow the disabled person and carer some privacy.

#### A safe and clean environment

- wide tear off paper roll to cover the bench.
- a large waste bin for disposable pads.
- a non-slip floor.

It is recommended that a changing places toilet be provided at high activity locations where people are likely to stay for long periods such as Shepparton CBD. At major events of a temporary nature, such as markets and festivals, it is recommended that portable facilities be provided. If these facilities are provided, people with disabilities will be able to participate in a wider variety of activities and the pressure on family and carers will be greatly reduced.



The basic requirements of a changing places public toilet facility  
<http://www.changing-places.org>

# Recommendations

Recommendation guidelines

Draft

## Refurbishment

If the public toilet facility is structurally sound, estimated to have a life span of more than 10 years and appropriately located, refurbishment may be considered. Any plans for refurbishment of facilities must ensure, however, that the current standards for universal design, people with disabilities and safety (CPTED principles) are met. Any requirements for specific user groups such as parents and children should also be determined and considered.

It is recognised that regional councils often work with limited resources, therefore, refurbishment in the short to medium term may be worth considering while funding for a replacement toilet is sourced. The decision to refurbish a public toilet, as opposed to replacing, will need to be based on a detailed cost / benefit analysis. If the changes are minor, the costs are significantly less than replacement and the outcome will be appropriate, then refurbishment should be considered. All refurbishment should be guided by the design guidelines outlined in this report.

Also, refurbishment may be a more environmentally responsible course worth considering as it can include the reuse of at least part of the infrastructure.

## Replacement

A public toilet should be replaced in either the same location or a new location if it meets one or more of the following criteria.

- The building is not structurally sound.
- It is incorporated into a sports use building or other public building that is programmed to be replaced.
- The building requires refurbishment, but the cost of refurbishment exceeds the cost of replacement.
- The building is sited away from public view. In this instance the public toilet should be replaced with a new facility in a more appropriate location.
- It is necessary to provide access for people with disabilities or specific user groups, but the existing building structure and surrounds will not accommodate the changes required to meet these needs (e.g. There is insufficient space to provide a cubicle for people with disabilities).

## Removal

Removal of an existing facility can be difficult if the facility is still being used, even if its usage is low. When deciding whether to remove a toilet, the usage, accessibility and availability of an alternative public toilet should be considered.

It is recommended that a public toilet be removed if it meets the following criteria.

- A public toilet facility in high activity area may be removed and not replaced if there is another easily accessible public toilet facility within 500 metres.
- The estimated usage of the existing public toilet facility to be removed is very low, or if the usage is not near to a particular activity area such as a playground or shopping precinct.
- The facility does not provide a safe environment for users (e.g. It is hidden from public view or it is poorly sited) or it has a history of antisocial behaviour (e.g. Related to drugs and/or sexual activity).

# Recommendations

## Recommendation guidelines

Draft

### Provide new

GSCC has received requests for new public toilets at the following locations. These locations will be considered as part of these recommendations.

- Toolamba.
- Coles Kmart.
- Kialla Lakes.
- Numurkah Road Shepparton Chas Johnson Reserve.
- Byrnside Tennis Club.
- Lake Barlett Tatura.
- Main shopping centre Tatura.
- Fryers Street Shepparton.
- Craigmuir picnic area.
- Shepparton CBD near car parks.
- Tatura at the eastern end of Hogan Street close to Mactier Park.
- Lake Barlett Tatura.
- Main shopping centre Tatura.
- Wash Street Tatura.
- Coles / Kmart.
- Mooroopna on Echuca Road near playground - entrance to swamp.
- Temporary facilities requested at Vaughan Street until Maude Street works are completed.
- The northern side of Shepparton.
- Monash Park.

It is often difficult to assess demand and the need for a new public toilet. When assessing requests for new public toilets, it is recommended that GSCC give priority to providing new public toilets, subject to the availability of funding, when one or more of the following criteria are met.

- There is significant activity in an area and there is not an existing public toilet within a reasonable distance.
- A Master plan or other planning document exists which is likely to create demand for a public toilet, but does not currently incorporate a public toilet.
- The need is generated from a Shepparton based initiative (such as tourism promotion), and is not just a private business activity.
- The distance to the nearest toilet is more than 250 metres in a CBD area, or 20 minutes driving distance in rural towns.
- The nearest toilet if less than 250 metres in a CBD area, or 20 minutes driving distance in rural towns is not accessible by people with disabilities and / or is incapable of accommodating the estimated increased use.
- There is an increased risk to personal safety due to the lack of a public toilet (e.g. Health hazards associated with people relieving themselves on the site).

# Recommendations

Recommendation guidelines

Draft



Access to Andyloos portable Changing Places Toilet  
<http://www.changing-places.org>

### Hiring toilets and temporary facilities for events

Where demand fluctuates too greatly or it is not possible to construct permanent public toilets in an area, then temporary facilities should be transported onto site.

There are many community events and activities such as local markets and festivals in the Shepparton region. The community have expressed concern that the permanent facilities provided are not designed for high use activities. They also do not meet the specific needs of people attending. In particular, they often do not cater for people with disabilities and people with children. At long stay events, this is of concern as it stops many people from either being able to attend, or from being able to stay for any length of time.

It is recommended that mobile facilities are provided at all major regional events or as required during peak periods and during toilet construction. Standard facilities should be provided in a trailer form as seen in the image on this page. They are more widely accepted and provide options for more environmentally friendly waste removal processes. Adult change facilities, change tables and breast feeding areas should also be provided.

There are a number of companies providing these products and it is recommended that GSCC explore opportunities to hire or purchase facilities for use at regular events to cater for the large number and special needs of attendees.



Inside Andyloos, Changing Places, Portable, high dependency mobile public toilet unit

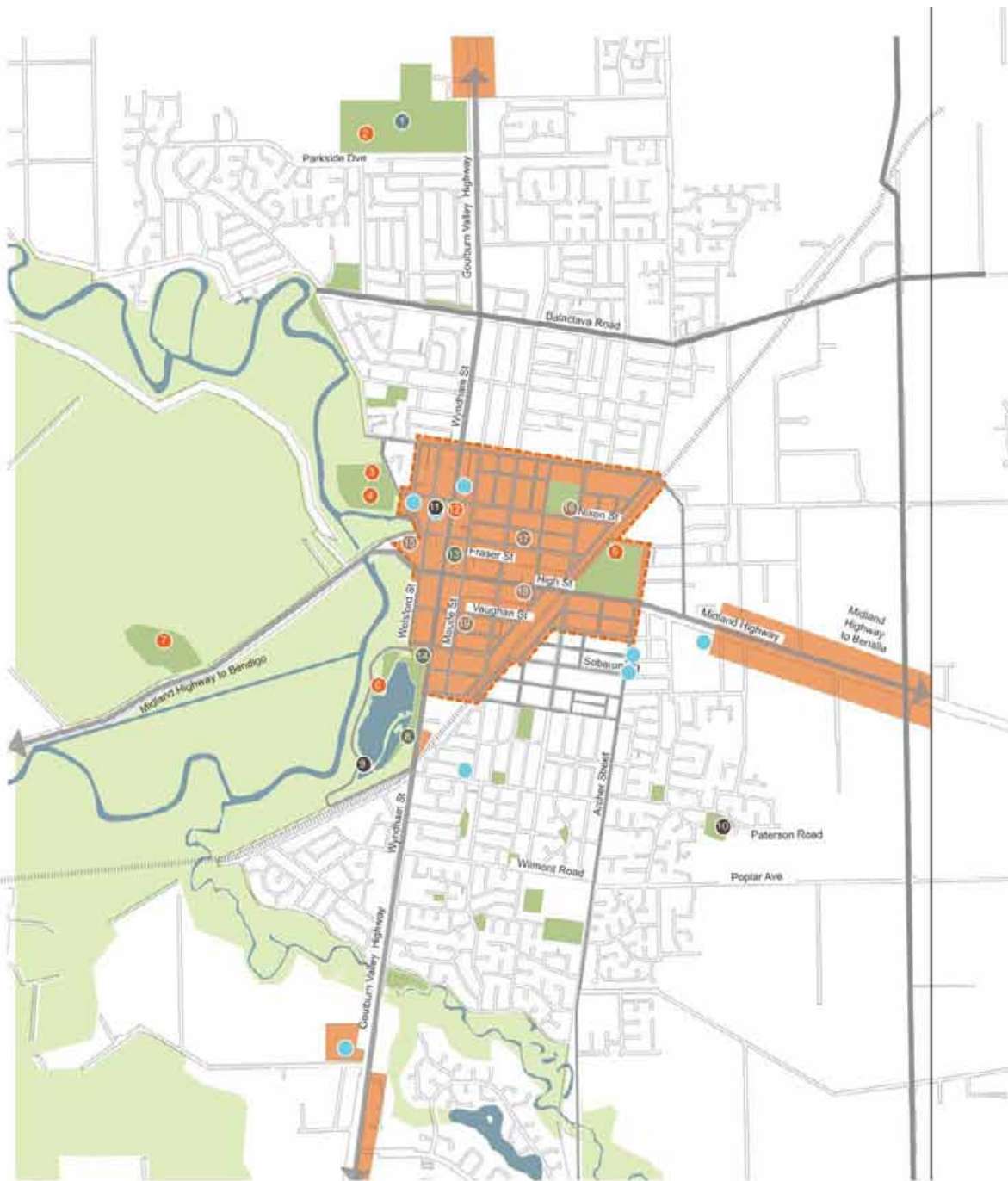


Portable public toilet facilities on trailer  
<http://eventhire.com/portable-sanitation/>

# Recommendations

Location plans

*Draft*



**Shepparton public toilet facilities**

- |   |
|---|
| <ul style="list-style-type: none"> <li>1 John McEwen Reserve Soccer Surrounds, Brauman st</li> <li>2 John McEwen Reserve Lorna Tingay, Brauman st</li> <li>3 Princess Park Goyan Reserve Eastern Block, Quinan Parade</li> <li>4 Princess Park McGregor Oval Western Block, Quinan Parade</li> <li>5 Shepparton Showgrounds</li> <li>6 All abilities playground</li> <li>7 kidstown</li> <li>8 Con Palling Reserve</li> <li>9 Harry Binl Reserve</li> <li>10 Ducat Reserve</li> <li>11 Exlan, Queens Gardens (Note this facility is to be removed and relocated)</li> <li>12 Queens Gardens, Welsford St</li> <li>13 Fraser Street</li> <li>14 John Pick Playground</li> <li>15 Monash Park</li> <li>16 Shepparton CBD</li> <li>17 Shepparton CBD</li> <li>18 High Street, Shepparton CBD</li> <li>19 Coles / Kmart Shepparton CBD</li> </ul> |
|---|

**Public toilet recommendations**

- Public toilets not included in assessment
- Public toilet facilities to be refurbished
- Public toilet facilities to be replaced
- Public toilets to be refurbished and later replaced
- New public toilet facilities to be provided  
*Please note locations for new facilities are approximate only. Exact locations require further resolution and input from Council*
- Public toilet facilities to be removed

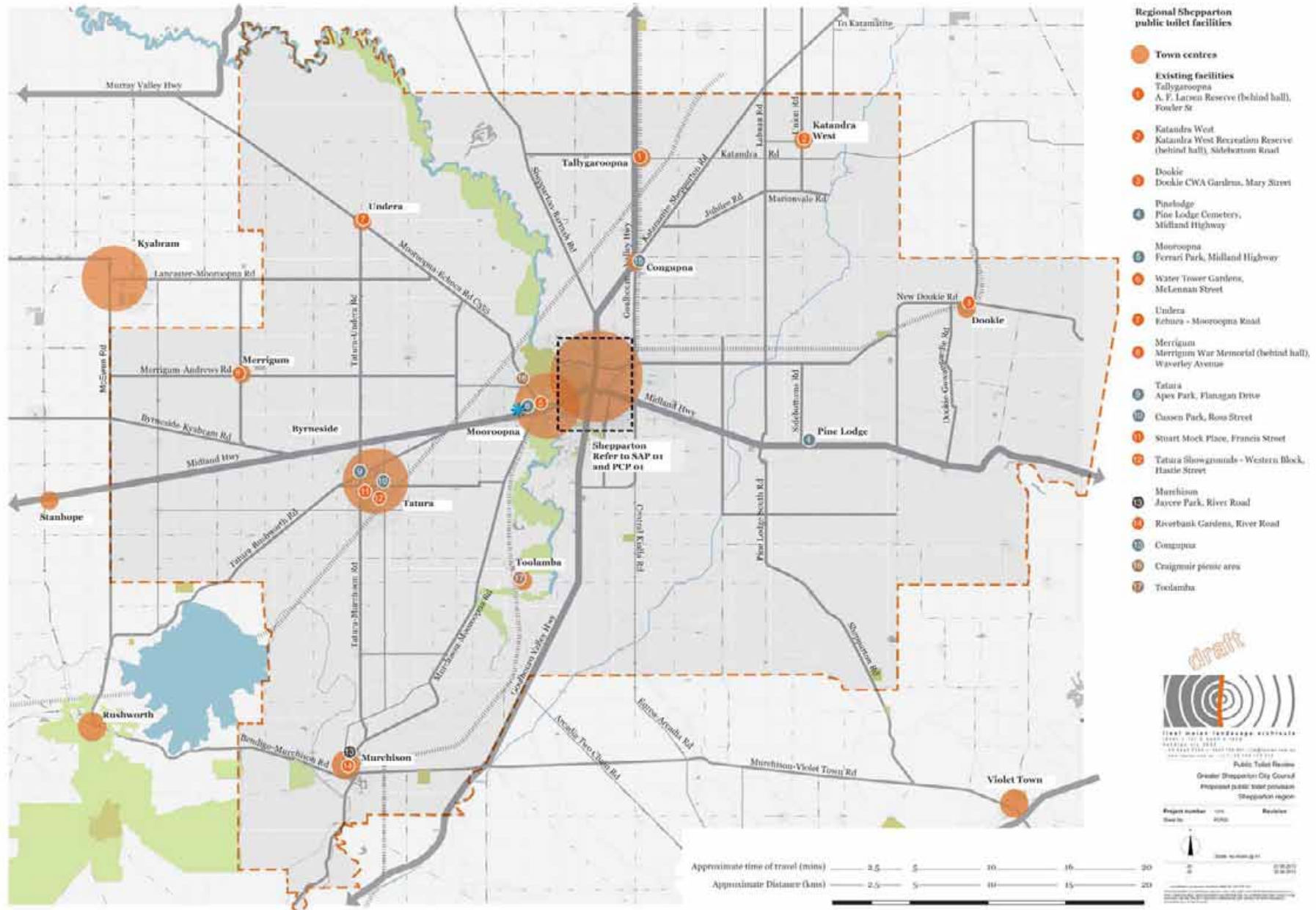
draft

**Public Toilet Review**  
 Greater Shepparton City Council  
 Proposed public toilet provision  
 Shepparton CBD

Project number: 1015  
 Date: 06/06/13

Scale: As shown @ 1:10,000  
 Date: 06/06/13





# Recommendations

Capital works plan

Draft

<p><b>Please note</b></p> <ul style="list-style-type: none"> <li>• These recommendations are preliminary. The list of tasks required for refurbishment is not exhaustive. A further detailed building assessment will be required. This is a strategic planning document. As such, it is a broad scale, long term document and does not provide detailed plans for costing purposes. All costs provided are preliminary only and likely to alter significantly during more detailed design for each of the sites. Costs have been provided with due care and diligence, however no liability will be accepted in the use thereof.</li> <li>• It is recommended that Council aim to supply a minimum of one accessible cubicle, which is also large enough for a double pram and one ambulant facility (either unisex or for each gender) at each facility. Other facilities such as parents rooms, and adult change facilities should be provided as outlined below and in the design guidelines. It is also recommended that all publicly accessible facilities are provide MLAK access.</li> <li>• A number of the recommendations below outline a two step process of refurbishment and then replacement. This is recommended to ensure that the community are aware that progress is being made and that the immediate needs of the community are met, while the planning and design of new facilities is being undertaken. It will also assist in addressing significant issues requiring immediate attention such as vandalism, graffiti and antisocial behaviour.</li> </ul>							
Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>A.F.Larsen Reserve (behind hall)</b> Tallygaroopna	<b>Major refurbishment</b> <ul style="list-style-type: none"> <li>• Construct additional brick cubicle which meets DDA requirements.</li> <li>• Replacement of steel and timbers to existing building structure.</li> <li>• Remove large shrubs and trees to increase views to facility.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Define accessible parking bay.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Install MLAK system.</li> <li>• Provide semi-transparent screens and new finishes to improve building appearance.</li> </ul>	This facility is used regularly as a roadside stop, and by locals. Views to the facility are obscured and it is not adjacent to local activity areas. This facility is in good condition, but does not meet DDA requirements. Of particular concern is that the cubicle is too small for wheelchair access.	\$81,000 to \$180,000	5	Weekly on Fridays	Daily and as required	To provided in consultation with Council
<b>All Abilities Playground</b> Shepparton	<b>Minor refurbishment</b> <ul style="list-style-type: none"> <li>• Provide DDA compliant access path / ramp.</li> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide directional signage.</li> <li>• Provide ambulant facilities.</li> </ul>	This facility is appropriately located in a high activity area and is used regularly. It is in good condition but does not meet DDA requirements.	up to \$25,000	2	Once daily and as required	Twice daily and as required	To provided in consultation with Council
<b>Apex Park</b> Tatura	<b>Replacement</b> Remove existing facility and replace with new facility in more prominent location.	This facility is in poor condition and does not meet DDA requirements. It is subject to regular vandalism, graffiti and antisocial behaviour. Views to the facility are obscured. It is located approximately 400m away from the Stuart Mock Reserve facilities.	up to \$120,000	4	Once daily and as required	Daily and as required	To provided in consultation with Council
<b>Congupna</b>	<b>Replacement or use other existing sports use facilities</b> <ul style="list-style-type: none"> <li>• Remove existing facility and replace with new small scale facility.</li> <li>• There is also an option to refurbish and change opening hours of existing sports use facilities.</li> </ul>	This facility is in very poor condition and does not meet DDA requirements.	up to \$120,000	1	Weekly on Thursday	Daily and as required	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Con Palling Reserve</b> Shepparton	<b>Minor refurbishment then replacement</b> Short term - minor refurbishment <ul style="list-style-type: none"> <li>• Provide DDA compliant access path / ramp.</li> <li>• Provide bollards and define accessible parking bays.</li> <li>• Adjust fittings, fixtures and finishes where possible to meet DDA requirements.</li> <li>• Install MLAK system.</li> <li>• Provide directional signage.</li> <li>• Provide screens and new finishes to improve building appearance.</li> </ul>	This facility is in poor condition and does not meet DDA requirements. It is subject to regular vandalism, graffiti and antisocial behaviour. It is in a very high use area and its replacement is being considered as part of current works.	up to \$25,000	1	Once daily and as required	Three times daily and as required	To provided in consultation with Council
	Long term - Remove existing facility and replace with new medium scale facility closer to visitor centre and activity areas.		\$121,000 to \$400,000	3			
<b>Cussen Park</b> Tatura	<b>Replacement</b> Remove existing facility and replace with new small scale facility closer to Tatura Undera Road.	This facility is used regularly as a roadside stop, and by people visiting the park and walking trails. This facility is in average condition and does not meet DDA requirements. Views to the facility from the road are obscured.	up to \$120,000	5	Once on Monday, Wednesday and Friday	Daily and as required	To provided in consultation with Council
<b>CWA Gardens</b> Dookie	<b>Major refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Remove external wall to accessible cubicle wall and replace with new wall further out to increase cubicle size.</li> <li>• Remove large shrubs and trees to increase views to facility.</li> <li>• Remove chicanes in path and provide DDA compliant access path / ramp.</li> <li>• Provide bollards and define accessible parking bays.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Install MLAK system.</li> <li>• Provide semi-transparent entry screens and new finishes to improve building appearance.</li> <li>• Provide ambulant facilities.</li> </ul>	This facility is in good condition and is well maintained. There is no evidence of graffiti and vandalism. It is located adjacent to activity areas and is used as a roadside stop.	\$81,000 to \$180,000	4	Weekly on Friday	Daily and as required	To provided in consultation with Council
<b>Ducat Reserve</b> Shepparton	<b>Removal</b> Remove existing facility and do not replace	Regular reports of violence, drug use and vandalism. This facility is in poor condition and does not meet DDA requirements. It is subject to significant vandalism, graffiti and antisocial behaviour. It is located in a residential area adjacent to a retardation basin which was previously (but is no longer) used as a sports oval. The facility is therefore no longer required.	\$50,000 dependant on site conditions	1	Weekly on Wednesday	N/A	To provided in consultation with Council
<b>Ferrari Park</b> Mooroopna	<b>Replace</b> Remove existing facility and replace with medium scale facility as part of current master plan.	This facility is appropriately located in a high activity area and is used regularly. It is in average condition and does not meet DDA requirements. A master plan has been developed outlining the replacement of this facility.	\$121,000 to \$400,000	1	Once daily and as required	Twice daily and as required	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
Fraser Park Shepparton	<b>Minor refurbishment then replacement</b> Short term - Refurbish and upgrade facility • Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens. • Provide DDA compliant access path. • Provide bollards and define accessible parking bays. • Adjust fittings, fixtures and finishes where possible to meet DDA requirements. • Install MLAK system. • Provide directional and external signage. • Provide ambulant facilities.	This facility is in good condition and is well maintained. There is significant evidence of graffiti and vandalism and antisocial behaviour. Although it is subject to high use and is located close to major CBD activity areas, there are no clear sight lines to facility and access is unsafe and confusing.	up to \$25,000	1	Twice daily and as required	Three times daily and as required	To provided in consultation with Council
	Long term - Remove existing facility and replace with new large scale facility in more appropriate location. This facility must have adult change, parenting and breastfeeding facilities.		more than \$401,000	3			
Harry Bird Park Shepparton	<b>Removal</b> Remove existing facility and do not replace or explore options for caravan park to purchase. Find alternative location for showers for people experiencing homelessness.	This facility is in average condition and does not meet DDA requirements. It is subject to vandalism and graffiti. It is located near recreational activity areas and has showers which are intended for use by people experiencing homelessness. It is located approximately 450m from both the Con Paling and the All Abilities Playground Facilities. It is experiencing misuse by large numbers of backpackers who use the showers, water, and electricity for personal use.	\$50,000 dependant on site conditions	3	Once daily and as required	Twice daily and as required in the short term and N/A in the long term	To provided in consultation with Council
Jayeec Park Murchison	<b>Removal</b> Remove existing facility and do not replace	This facility is not located near local activity areas. It is in average condition and there is evidence of graffiti and vandalism. It does not meet DDA requirements. It is located approximately 450 m from the Riverbank Gardens facilities. It is expected that the consolidation of the facilities in Murchison would be a better use of GSCC resources.	\$50,000 dependant on site conditions	1	Once on Monday, Wednesday and Friday	N/A	To provided in consultation with Council
John McEwen reserve - Lorna Tingay Shepparton	<b>Moderate refurbishment</b> Refurbish and upgrade existing facility. • Replace internal particle board partition walls and doors with more robust material. • Explore opportunities to widen entrance door and accessible cubicle door. • Change internal layout where necessary. • Provide DDA compliant access path / ramp. • Provide bollards and define accessible parking bays. • Adjust internal fittings and fixtures where possible to meet DDA requirements. • Provide semi-transparent entry screens and new finishes to improve building appearance. • Provide directional signage. • Provide ambulant facilities.	This facility is located in a high activity sports precinct. It is in good condition but does not meet DDA requirements.	\$26,000 to \$80,000	5	Once on Wednesday, Saturday and Sunday	After use by sports groups (By others) and monthly by Council	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>John McEwen Reserve - Soccer Surrounds</b> Shepparton	<b>Replacement</b> Replace with moderate scale facility as part of current review.	This facility is located in a high activity sports precinct. It is in good condition but does not meet DDA requirements. The soccer surrounds are undergoing significant upgrades and the toilet block is currently under review. Replacement is recommended as the facility would require extensive refurbishment to accord with the design guidelines. It is believed that replacement would be a better use of GSCC resources.	\$121,000 to \$400,000	5	Once on Wednesday, Saturday and Sunday	After use by sports groups (By others) and monthly by Council	To provided in consultation with Council
<b>John Piek Playground</b> Shepparton	<b>Minor refurbishment then replacement</b> Short term - Refurbish and upgrade facility to meet immediate needs <ul style="list-style-type: none"> <li>Remove internal partition walls.</li> <li>Improve access path to meet DDA requirements.</li> <li>Adjust fittings, fixtures and finishes where possible to meet DDA standards.</li> <li>Install MLAK system.</li> <li>Provide or adjust directional and external signage.</li> <li>Provide ambulant facilities.</li> </ul> Long term - Remove existing facility and replace with new medium scale facility closer to the road.	This facility is located near high activity areas. It is in very poor condition and there is significant evidence of graffiti and vandalism. It does not meet DDA requirements. It is currently under review and its replacement is being considered.	up to \$25,000	1	Once daily and as required	Three times daily and as required	To provided in consultation with Council
			\$121,000 to \$400,000	2			
<b>Katandra West Recreation Reserve</b> (behind hall) Katandra	<b>Major refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>Explore opportunities to widen entrance door.</li> <li>Change internal walls where necessary to simplify layout and accommodate accessible cubicles.</li> <li>Provide DDA compliant access path / ramp.</li> <li>Provide bollards and define accessible parking bays.</li> <li>Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>Install MLAK system.</li> <li>Provide semi-transparent entry screens and new finishes to improve building appearance.</li> <li>Provide directional signage.</li> <li>Provide ambulant facilities.</li> </ul>	This facility is located in the town centre adjacent to activity areas. It is also used regularly as a roadside stop. Views to the facility are obscured and it is not located adjacent to local activity areas. This facility is in good condition, but does not meet DDA requirements. Of particular concern is that the cubicle is too small for wheelchair access.	\$81,000 to \$180,000	4	Weekly on Friday	Daily and as required	To provided in consultation with Council
<b>Kids Town</b> Shepparton	<b>Minor refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>Provide directional signage.</li> <li>Provide bollards and define accessible parking bays.</li> <li>Fix / replace DDA compliant access path / ramp.</li> <li>Provide ambulant facilities.</li> <li>Adjust internal fittings and fixtures where possible to achieve DDA standards.</li> </ul>	This facility is located in a high activity family play area. It is in good condition but does not meet DDA requirements, but could easily be upgraded to achieve compliance.	up to \$25,000	Not to be undertaken by Council	Once daily and as required	Twice daily and as required (By others)	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Merrigum</b> Judd Park	<b>Minor refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards at accessible parking bay.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Paint doors to provide visual contrast.</li> <li>• Install sky lights or other feature to increase internal natural light.</li> <li>• Provide ambulant facilities.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Install MLAK system.</li> </ul>	This building is in a good location and is in good condition.	up to \$25,000	5	Once on Monday, Wednesday and Friday	Daily and as required	To provided in consultation with Council
<b>Pine Lodge Cemetery</b> Pine Lodge	<b>Replacement</b> Remove existing facility and replace with small scale facility.	This building is in good condition but does not meet DDA requirements. In particular the accessible cubicles are too small. It is subject to moderate to low use catering largely for visitors to the cemetery.	up to \$120,000	2	Once on Monday, Wednesday and Friday	Daily and as required	To provided in consultation with Council
<b>Princess Park - Eastern Block</b> Shepparton	<b>Major refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Install sky lights or other feature to increase internal natural light.</li> <li>• Provide ambulant facilities.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Provide external and directional signage.</li> <li>• Install MLAK system.</li> </ul>	There is significant evidence of graffiti and vandalism. The building is in good condition but does not meet DDA requirements.	\$81,000 to \$180,000	1	Weekly on Friday	After use by sports groups (By others) and monthly by Council	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Princess Park - Western Block</b> (McGregor Oval) Shepparton	<b>Major refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Change internal layout where necessary.</li> <li>• Provide ambulant facilities.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Provide external and directional signage.</li> <li>• Install MLAK system.</li> </ul>	Many reports of significant levels of misuse and antisocial behaviour. The building is in good condition but does not meet DDA requirements.	\$81,000 to \$180,000	4	Information to be supplied by Council	After use by sports groups (By others) and monthly by Council	To provided in consultation with Council
<b>Queens Gardens</b> Shepparton	<b>Major refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Install sky lights or other feature to increase internal natural light.</li> <li>• Paint doors to provide visual contrast</li> <li>• Provide external and directional signage.</li> <li>• Provide ambulant facilities.</li> <li>• Install MLAK system.</li> </ul>	This facility is located in Shepparton CBD adjacent to major activity areas such as the gallery. Views to the facility are obscured and access is unclear. This facility is in average condition, but does not meet DDA requirements. Despite being older and in worse condition, it is noted that most people prefer to use it to the nearby Exeloo.	\$81,000 to \$180,000	1	Once daily and as required	Twice daily and as required	To provided in consultation with Council



Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Queens Gardens Exeloo</b> Shepparton	<b>Relocate</b> Explore opportunity to relocate facility into retail precinct. The indicative price includes: <ul style="list-style-type: none"> <li>• Disconnect and cap off the service at Queens Park.</li> <li>• Prepare the exterior of the unit to protect against freight damage.</li> <li>• Prepare surrounding grounds to protect against damage on removal.</li> <li>• Crane and Truck hire.</li> <li>• Make good the area in Queens Park.</li> <li>• Soil Test at the new site.</li> <li>• New footings at the new site.</li> <li>• Deliver unit to new location and crane onto footings.</li> <li>• Reconnect the unit to services supplied by others to within one meter of the site.</li> <li>• Final testing, cleaning and commissioning.</li> <li>• Traffic and Pedestrian management at both ends.</li> <li>• Project management.</li> </ul> The above assumes a clear and level site with free access for a 20 tonne Franner Crane.	This facility has received significant negative feedback due to being fully automated and its visual exposure to the road. This facility may be more suited to a more central CBD location	\$ 27,000.00	1	Once daily and as required	Daily and as required	To provided in consultation with Council
<b>Riverbank Gardens</b> Murchison	<b>Major refurbishment</b> Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external lattice screening wall with new semi-transparent screens.</li> <li>• Adjust internal fittings and fixtures where possible to achieve DDA standards.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Install sky lights or other feature to increase internal natural light.</li> <li>• Modify building to prevent water from ponding inside.</li> <li>• Provide external and directional signage.</li> <li>• Provide ambulant facilities.</li> <li>• Install MLAK system.</li> </ul>	This facility is well placed and used regularly as a road side stop. It is in good condition but does not meet DDA requirements. It could be easily upgraded to achieve compliance.	\$81,000 to \$180,000	1	Once daily and as required	Daily and as required	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Shepparton Showgrounds</b> Shepparton	Major refurbishment Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Adjust internal fittings and fixtures where possible to achieve DDA standards.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Install sky lights or other feature to increase internal natural light.</li> <li>• Modify entry to prevent water from ponding.</li> <li>• Provide external and directional signage.</li> <li>• Provide ambulant facilities.</li> </ul>	This facility is subject to high use during major events. The building very large and is in good condition. It does not meet DDA requirements. There is enough internal space to provide accessible facilities but a major rearrangement of the internal layout is required.	\$81,000 to \$180,000	5	Weekly on a Wednesday or Friday	After use by sports groups and twice daily during major events	To provided in consultation with Council
<b>Stuart Mock Place</b> Tatura	Major refurbishment Refurbish and upgrade existing facility. <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Adjust internal fittings and fixtures where possible to achieve DDA standards.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Provide external and directional signage.</li> <li>• Provide ambulant facilities.</li> <li>• Install MLAK system.</li> </ul>	This facility is well placed and used regularly by locals and as a road side stop. It is in good condition and does not meet DDA requirements.	\$81,000 to \$180,000	1	Once daily and as required	Daily and as required	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Tatura Showgrounds - Western Block</b> Tatura	<p>Major refurbishment</p> <p>Refurbish and upgrade existing facility.</p> <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external screening walls with semi-transparent screens.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Provide external and directional signage.</li> <li>• Provide ambulant facilities.</li> </ul>	This facility is subject to high use during major events. The building is in good condition but does not meet DDA requirements.	\$81,000 to \$180,000	5	Weekly on Friday	After use by sports groups and twice daily during major events	To provided in consultation with Council
<b>Undera</b>	<p>Minor refurbishment</p> <p>Minor refurbishment of existing facility.</p> <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Adjust internal fittings and fixtures where possible to meet DDA requirements.</li> <li>• Install MLAK system.</li> </ul>	High use, well placed, good reputation. Does not meet DDA requirements but could easily be upgraded to achieve compliance.	up to \$25,000	5	Once on Monday, Wednesday and Friday	Daily and as required	To provided in consultation with Council
<b>Water Tower Gardens</b> Mooroopna	<p>Major refurbishment</p> <p>Refurbish and upgrade existing facility.</p> <ul style="list-style-type: none"> <li>• Provide bollards and define accessible parking bays.</li> <li>• Provide DDA compliant access path / ramp.</li> <li>• Remove and replace internal and external walls as required to make building accord with design guidelines. Replace external lattice screening wall with new semi-transparent screens.</li> <li>• Adjust internal fittings and fixtures where possible to achieve DDA standards.</li> <li>• Apply new finishes to improve building appearance.</li> <li>• Paint doors to provide visual contrast.</li> <li>• Install sky lights or other feature to increase internal natural light.</li> <li>• Provide external and directional signage.</li> <li>• Provide ambulant facilities.</li> <li>• Install MLAK system.</li> </ul>	Located in very high activity area. Building in good condition but does not meet DDA requirements. It could be upgraded to achieve compliance.	\$81,000 to \$180,000	2	Once daily and as required	Twice daily and as required	To provided in consultation with Council

Facility	Recommendation	Justification for recommendation	Notional cost estimate	Priority 1- equals between 1-2 years 2- equals between 3-4 years 3- equals between 5-6 years 4- equals between 7-8 years 5- equals between 8-10 years	Existing cleaning frequency	Recommended cleaning frequency	Notional cleaning cost estimate
<b>Proposed new facilities</b>							
<b>Toolamba</b>	<b>New</b> New facilities required in this area. Exact location and scale of facility to be determined in consultation with Council.	Currently no facilities in Toolamba.	up to \$120,000	1	Not applicable	Daily and as required	To provided in consultation with Council
<b>Craigmuir picnic area Mooroopna North Entry</b>	<b>New</b> New facilities required in this area. Exact location and scale of facility to be determined in consultation with Council.	Currently no facilities in this area and activity supports need for facilities.	up to \$120,000	5	Not applicable	Twice daily and as required	To provided in consultation with Council
<b>Monash Park</b>	<b>New</b> New facilities required in this area. Exact location and scale of facility to be determined in consultation with Council.	Currently no facilities in this area and activity supports need for facilities.	up to \$120,000	2	Not applicable	Twice daily and as required	To provided in consultation with Council
<b>Coles Kmart</b> Explore opportunities to include adult change facilities, parents room, and breastfeeding room	<b>New</b> New facilities required in this area. Exact location and scale of facility to be determined in consultation with Council.	Facilities required at 500m spacing through CBD areas.	Large - 9 or more cubicles	2	Not applicable	Three times daily and as required	To provided in consultation with Council
<b>Others in Shepparton CBD</b>	<b>New</b> New facilities required in CBD location. Exact location and scale of facility to be determined in consultation with Council.	Facilities required at 500m spacing through CBD areas.	more than \$401,000	1	Not applicable	Three times daily and as required	To provided in consultation with Council
<b>Others in Shepparton CBD</b>	<b>New</b> New facilities required in CBD location. Exact location and scale of facility to be determined in consultation with Council.	Facilities required at 500m spacing through CBD areas.	more than \$401,000	2	Not applicable	Three times daily and as required	To provided in consultation with Council
<b>Others in Shepparton CBD</b>	<b>New</b> New facilities required in CBD location. Exact location and scale of facility to be determined in consultation with Council.	Facilities required at 500m spacing through CBD areas.	more than \$401,000	2	Not applicable	Three times daily and as required	To provided in consultation with Council

# Appendices

Draft

# Appendix 1

Facility assessments

Draft

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

DRAFT

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

Category	High rating description	Low rating description
<b>Safety</b> <i>This rating is based on anecdotal evidence and visual observation only</i>	People reported that they felt very safe using this public toilet facility.	People reported that they did not feel safe using this public toilet facility
<b>Universal access</b>	Public toilet facilities are usable and accessible by everyone	Public toilet facilities only provide access to able bodied people and people who do not require assistance.
<b>Use</b> <i>This rating is based on anecdotal evidence and visual observation only</i>	The estimated number of people using this public toilet facility is high	The estimated number of people using this public toilet facility is low
<b>Future demand</b> <i>This estimate is based on relevant planning documents and proposals and anecdotal evidence</i>	The estimated future demand for this toilet is high	The estimated future demand for this toilet is low
<b>Proximity to other toilet facilities (in CBD)</b>	Public toilet facility is within 250m of another public toilet facility	Public toilet is more than 1000m from another public toilet facility
<b>Proximity to activity areas</b>	Public toilet is within 100m of an activity area such as a playground or sporting facility	Public toilet facility is more than 500m from an activity area such as a playground or sporting facility
<b>Maintenance-building structure</b> <i>This estimate is based on preliminary assessments undertaken by Lloyd Payne Building Consultants</i>	This building is in good condition and the expected level of ongoing maintenance is low	This building is in poor condition and the expected level of ongoing maintenance is low
<b>Maintenance-cleaning</b> <i>This estimate is based on cleaning schedules supplied by Council and anecdotal evidence from Councils maintenance staff</i>	Cleaning schedules indicate that public toilet facilities are cleaned daily and on demand and cleaning processes are appropriate and easy for maintenance staff.	Cleaning schedules indicate that public toilet facilities are only cleaned once a week or after use (e.g. after a sporting event) and cleaning processes are appropriate and easy for maintenance staff.
<b>Building character</b>	Building character is appropriate to and / or sympathetic to its surrounds	Building character is not appropriate to / and or not sympathetic to its surrounds
<b>Building perception</b>	People reported that the facility appeared welcoming and / that they felt comfortable using it	People reported that the facility appeared unwelcoming and / that they did not feel comfortable using it

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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Lisa Malin Landscape Architects in collaboration with LP Building Consultants

**Site :**  
A.F. Larsen Reserve, Tallygaroopna

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	← High	Med	Low →
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CRD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



View of the facility with adjoining car park and Memorial Hall behind



Access behind Memorial Hall



Entrance to reserve, obscured by planting



Adequate internal natural light

**Toilet type :** Single free standing unisex cubicle

**General comments :**

- Located in a high activity part of the town between Memorial Hall and A.F. Larsen Reserve.
- Recently renovated.
- Building, fittings and fixtures generally in good condition.
- Evidence of minor vandalism.
- Sitting, vegetation and car park restrict views to facility



Handrails along entry ramp and tight turning space for wheelchairs

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 05/04/2013 @ 11:15am

**Structural issues:**

Structurally sound with minor issues regarding twisted northeast timber post and rusting of reinforcement in floor slab where holes drilled.

**Access requirements:**

- No identified accessible parking.
- no defined external accessible path,
- kerb ramp should be installed to get through the spoon drain,
- ramp installed kerb rail noncompliant,
- insufficient circulation space at change in direction,
- no signage,
- non compliant entrance door,
- non compliant doorway to cubicle,
- cubicle size is inadequate,
- pan height low,
- pan distance from side and rear wall not correct,
- grab rail too high,
- toilet paper too high,
- difficult to reach the controls of the washbasin and has pipe under restricting access.



Evidence of vandalism

**Date assessed :**  
14.03.2013  
11AM

1



**Public Toilet Review**

Greater Shepparton City Council

**Site :**  
All Abilities Playground, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



View from within fenced area. Open access and circulation around facility entry

**Toilet type :** 2 x unisex cubicles - 1 outside and 2 inside the fenced playground area

**General comments :**

- Facility is highly visible from adjacent activity areas and designated car park.
- No obvious internal or external hiding places.
- Entry is not clearly defined.
- MLAK key available for 24hr access.
- Good ventilation and natural light. It also reduces the sense of enclosure.
- Open, inviting building character with well maintained, spacious cubicles.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 04/04/2013 @ 9:30am

**Structural issues:**

Structurally sound but roof covered with debris from overhanging trees.

**Access requirements:**

- Identified accessible parking at the front of the playground.
- no directional signage,
- no shared bay,
- no bollard,
- accessible path is gravel/dirt to the play ground gate,
- gravel/dirt and steep around to the facility outside the playground.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



View from car park to playground entrance



Single cubicle outside playground



MLAK key signage with Braille



Patterned wall surface



bench inside cubicles

**Date assessed :**  
06.03.2013  
12pm

2

**Building structure and DDA comments - prepared by LP Building Consultants****Date assessed : 04/04/2013 @ 9:30am**

Assessment of facility external to the playground:

- 20mm lip up onto the concrete from the surrounding gravel/dirt,
- entrance door privacy control 1120mm too high,
- in-swinging door not removable,
- cubicle size 1550 wide to handbasin x 1960 long does not meet AS1428.1-2001,
- with insufficient circulation space for toilet as well as the bin encroaches in this space,
- pan dimensions from the side wall of 500mm is greater than permitted,
- no back rest,
- no shelf,
- no cloths hook,
- sufficient circulation space for hand basin but tap controls 330mm back from the front,
- no mirror,
- hand dryer is closer than 500mm to the corner.

Assessment of the two facilities within the playground:

- no external signage,
- entrance door privacy control 1130mm too high,
- in-swinging door not removable,
- cubicle size 1560 wide to handbasin x 2030 long to seat meets AS1428.1-2001,
- with sufficient circulation space for toilet but the bin encroaches in this space,
- pan dimensions from the side wall of 500mm is greater than permitted,
- no back rest,
- no shelf,
- no cloths hook,
- sufficient circulation space for hand basin but tap controls 340mm back from the front,
- handbasin height 765mm too low,
- no mirror,
- hand dryer is closer than 500mm to the corner.

**Public Toilet Review**  
Greater Shepparton City Council

**Site :**  
Apex Park , Tatura

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Mod	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Access to the facility and the view from the adjoining car park

**Toilet type :** Single, free standing, unisex, accessible cubicle

**General comments :**

- The facility is located at the rear of the Apex Park between the Apex Skate Park and Senior Citizens Centre.
- Sight lines to the facility are obscured due to the building orientation and siting.
- The Apex Park has a high level of social activity and recreational activity.
- This facility is in poor condition and is subject to regular vandalism, graffiti and antisocial behaviour.

**Building structure and DDA comments - prepared by LP Building Consultants**  
Date assessed : 08/04/2013 @ 11:00am

**Structural issues:**  
Structurally sound with minor issues regarding the damaged downpipes

**Access requirements:**

- Identified accessible parking as a concrete area on the side of the path but not line marked or identified other than sign on post,
- no signage on toilet,
- non compliant entrance door,
- non compliant doorway to cubicle,
- cubicle size is inadequate,
- pan height low,
- pan distance from side and rear wall not correct,
- grab rail too high,
- toilet paper too high,
- difficult to reach the controls of the washbasin in the corner.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



View from the path towards the skate park



View from Memorial Park through the site



Internal fittings in poor condition



Evidence of graffiti and vandalism



View from the skate park towards the Senior Citizens centre

**Date assessed :**  
13-03-2013  
12pm

3

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Recreation Reserve, Congupna

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone facility to the back of site and adjoining primary school



No defined parking, facility is within sports precinct



Roof line is too low



Modest screens

**Toilet type :** 1WU's stand alone bagged brick building with male and female cubicles

**General comments :**

- Located in near to sporting oval, clubhouse, primary school and community centre.
- Facilities open every day
- Parking area available but not clearly defined
- Building clearly visible from street, but no access paths available.
- Building, fittings and fixtures are in poor condition.
- Adequate natural light inside building.
- Evidence of minor graffiti and vandalism.



Building in poor condition

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 03/05/2013 @ 2:00pm

**Structural issues:**

Structurally poor with significant cracking to the block work particularly beside the male toilet entry where the blocks are loose on the west side of the entry door. The central box gutter drains to a downpipe which discharges directly to the ground which has impacted on the foundations and caused the building foundations to move and significantly cracking the concrete slab and the block work in several locations.

**Access requirements:**

- No identified accessible parking,
- no defined external accessible path,
- no signage,
- non compliant entrance way,
- no cubicle suitable for use by disabled,
- no grab rails,
- pan height low,
- pan distance from side and rear wall not correct,
- no cubicle suitable for use for people with Ambulant disabilities.



Structural problems

**Date assessed :**  
14.05.2013  
12.00pm

4

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**Public Toilet Review**  
Greater Shepparton City Council

Prepared by Lesl Malin Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Con Paling Reserve, Victoria Park Lake, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data tests not available when this report was prepared.

	High	Mod	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



View of facility from Victoria Park Lake. Entrance to the cubicles face the lake.



Defined access from the adjoining car park



View from the Highway, behind petrol station



Internal fittings and finishes in poor condition

**Toilet type :** 1970's brick facility, with male, female and accessible cubicles

- Comments :**
- Located in a high activity area, on the Goulburn Valley Highway, near the Shepparton Visitor's Centre and Victoria Park Lake.
  - No obvious internal or external hiding places.
  - Clear sightlines to and from the building. Access from the lake side of the facility is well defined.
  - Access from highway, does not lead directly to the entrances and is confusing.
  - Evidence of vandalism and graffiti.
  - Fittings, fixtures and internal finishes are in poor condition.



Confusing entrance leading to other side of building

**Building structure and DDA comments - prepared by LP Building Consultants**  
Date assessed : 04/04/2013 @ 8:00am

**Structural issues:**  
Parapet box gutters full of debris causing overflow and deterioration of fascia and other roof members

**Access requirements:**

- Identified accessible parking in adjacent car park to the south,
- parking bay 5000mm not long enough,
- shared bay 1900mm not wide enough,
- no bollard,
- kerb ramp where expected but insufficient landing size at the top,
- external accessible path 1 metre wide but cracks in surface and lips greater than 3mm,
- external signage not beside the door frame,
- specific designated accessible toilet separate to the designated male and female facilities,
- dimensionally non compliant entrance door with insufficient circulation space 1480mm long at the door,
- insufficient contrasting of the door red door in red bricks,
- privacy latch 1230mm high too high,
- sufficient circulation space for toilet however the pan 480mm from wall too far,
- no back rest,
- toilet paper installed at 1050 too high,



Poor internal natural light minimal and evidence of graffiti

<b>Date assessed :</b> 13.03.2013 12pm	<b>4</b>
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**Building structure and DDA comments - prepared by LP Building Consultants**  
**Date assessed : 04/04/2013 @ 8:00am**

- no shelf,
- hand basin 770mm too low,
- sanitary facilities for the Ambulant provided in the Male or Female facilities but door opening too narrow,
- pan height too low,
- no coat hook,
- toilet paper dispenser encroaches in 900mm circulation space and no signage.

**Public Toilet Review**  
Greater Shepparton City Council

**Site :**  
Cussen Park, Tatura

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Mod	Low
Safety			■
Universal access			■
Use			■
Future demand			■
Proximity to other toilet facilities (in CBD)			■
Proximity to activity areas	■		
Maintenance-building structure		■	
Maintenance-cleaning			■
Building character			■
Building perception			■

DRAFT



View of facility from the car park. Bushland track to the left with large shrubs obscuring sightlines

**Toilet type :** Free standing, single unisex cubicle

**Comments :**

- Located at Cussen Park, on the entrance to Tatura from the Midland Highway.
- Near to walking trails and wetlands
- Clear signage from the road, but not on the facility.
- Building is not clearly identifiable as a public toilet facility.
- Recent modifications have been undertaken to improve access from the car park.
- Natural light inside facility is inadequate and there is no artificial light in the park reserves.

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 06/04/2013 @ 9:30am

**Structural issues:**

Structurally sound with minor issues regarding split timber purlin east side and should be repaired/replaced.

**Access requirements:**

- Not a defined accessible facility. No identified accessible parking.
- no defined external accessible path,
- gravel path uneven,
- step ramp required up to concrete floor but existing too steep,
- no signage,
- non compliant entrance door,
- cubicle not fitted out to be suitable for use for people with disabilities,
- no rails,
- pan not correct location and height,
- handbasin not suitable and circulation space insufficient.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



No signage, but clear sightlines from car park



Adjoining shrubs and bushland provide hiding areas



Adequate natural light inside facility



Recent modifications to concrete path



Split timber purlins requiring repair/replacement

<b>Date assessed :</b> 13.03.2013 9:30am	<b>6</b>
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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
CWA Gardens, Dookie

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



View from main entrance, clear sightlines from street

**Toilet type :** 1960's brick facility, with male, female and accessible cubicles

**General comments :**

- Located in CWA Gardens, along Mary Street.
- Near to well used park and playground, Gladstone Hotel and proposed rail trail.
- Facility is slightly elevated allowing clear views to and from the entrance.
- Well maintained, high use facility.
- Chicanes along main access path, making pram and wheelchair access difficult.
- No evidence of graffiti or vandalism, although some broken bricks and fixtures were noted.
- Natural internal lighting is adequate.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 05/04/2013 @ 8:30am

**Structural issues:**

Structurally sound with minor issues regarding roof and stormwater discharge due to debris from overhead trees.

**Access requirements:**

- No identified accessible parking.
- kerb ramp from roadway but no splay or tactile.
- insufficient circulation space at change in direction in path,
- no signage.
- non compliant entrance door.
- non compliant doorway to cubicle.
- cubicle size is inadequate.
- pan height low.
- pan distance from side and rear wall not correct.
- grab rail too high and noncompliant in length.
- toilet paper too high.
- difficult to reach the controls of the washbasin and has pipe under restricting access.
- facilities in the male and female not suitable for people with ambulant disabilities.



Free standing brick facility



Chicane along major entrance



Good natural light in cubicles



Gaps in the brickwork provide direct sunlight



Narrow access path

<b>Date assessed :</b> 14.03.2013 9:30am	7
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**Public Toilet Review**  
Greater Shepparton City Council

**Site :**  
Ducal Reserve, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Facility is not accessible, minimal signage, and strong negative perception

**Toilet type :** 1980's higgled brick facility, with one male and one female cubicle

**General comments :**

- The facility is located a residential area within a parkland reserve.
- The facility is sited at the edge of the reserve and backs onto private property.
- Significant evidence of graffiti and vandalism.
- Many reports of anti-social behaviour.
- The facility is aged and in poor condition, with no signage and no poor access.

**Building structure and DDA comments - prepared by LP Building Consultants**  
**Date assessed : 22/03/2013 @ 4:15pm**

**Structural issues:**  
Structurally sound with minor issues regarding stormwater discharge beside the building.

**Access requirements:**

- No identified accessible parking.
- no defined external accessible path with very steep (> 1:8) gravel and sand path,
- no ramps where expected as there is a full kerb between the roadway and the gravel path.
- no signage,
- non compliant entrance door,
- no cubicle suitable for use for people with disabilities,
- female cubicle has a grab rail but inadequate circulation space around the door to allow access,
- cubicle size is inadequate,
- pan height low,
- pan distance from side and rear wall not correct,
- grab rail too high,
- no cubicle suitable for use for people with Ambulant disabilities.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



View from main road



Facility backs onto private residences



Evidence of vandalism and graffiti



Evidence of vandalism and graffiti



Standard fixtures and fittings replaced with crude utilitarian fittings

**Date assessed :**  
22.03.2013  
3:50pm

R

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**Public Toilet Review**  
Greater Shepparton City Council

**Site :**  
Ferrari Park, Mooroopna

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Mod	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Facility is not clearly signed with no defined access

**Toilet type :** 1970's brick facility, with male and female cubicles

- General comments :**
- Located in Ferrari Park on the Midland Highway on the Western entrance into Mooroopna.
  - Close to sports precinct, skate park, and market/events areas.
  - Highly visible from road and activity areas.
  - Very small cubicles
  - Significant evidence of graffiti and vandalism.
  - Reports of anti-social behaviour.

**Building structure and DDA comments - prepared by LP Building Consultants**  
Date assessed : 22/03/2013 @ 3:05pm

**Structural issues:**  
Structurally sound but further cracking and deterioration of the external brickwork may cause issues in the future and should be monitored, minor issues regarding roof and stormwater discharge due to debris from overhead trees.

**Access requirements:**

- No identified accessible parking but the area is available.
- no defined external accessible path with gravel and sand path,
- no ramps where expected as there is a full kerb between the roadway and the gravel path,
- no signage,
- non compliant entrance door,
- no cubicle suitable for use for people with disabilities.
- no cubicle suitable for use for people with Ambulant disabilities.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



Adjoining car park and Highway



View from car park and Highway



Vandalism and graffiti evident



Vandalism and graffiti evident



Damage to external bricks, from irrigation system in adjoining park

**Date assessed :**  
22.03.2013  
3:50pm

**Public Toilet Review**  
Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Fraser Street, Shepparton Mall

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance cleaning			
Building character			
Building perception			

DRAFT



Facility is not clearly seen from high trafficked area.



Defined access to facilities (right) and adjoining park



Entrance screens to facilities



Security gates and interesting use of building finishes at entrance

**Toilet type:** 1990's brick facility with parents/breastfeeding room, male, female and accessible cubicles

**General comments :**

- Located in Fraser Street Park in Shepparton CBD, adjacent to the Maude Street Mall.
- High activity area, close to Shepparton observation tower, plaza forecourt, cafe and rest area.
- Facility set back within the site, and views to facility are obscured by tower, trees, furniture and infrastructure.
- Subject to high levels of vandalism, crime and anti-social behaviour.
- Recent renovations have been undertaken to improve facilities and their visual impact.
- Modesty screens at the entrances provide hiding spaces.
- Internal natural light is not adequate, but artificial light is sufficient.
- The parents room and breastfeeding area, is accessed by key and is well used.



New internal point and renovation works

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 08/04/2013 @ 9:10am

**Structural issues:**

Structurally sound.

**Access requirements:**

- Identified accessible parking in adjacent car park to the north,
- no directional signage,
- parking bays 4700mm not long enough,
- no shared bay,
- no bollard,
- spoon drain to be negotiated,
- external accessible path across the car park and over gravel surface or paved surface with lips of 8mm,
- cracks to the concrete path under the tower with 6 millimetre lips,
- external signage non compliant with the incorrect colour and has no braille,
- specific designated accessible toilet separate to the designated male and female facilities,
- incorrect location of signage to cubicle on wing wall not beside the door,
- clear open door width of 790 millimetres insufficient,
- no self closer to the door,
- cubicle size 2400mm wide x 1740mm long with insufficient circulation space in front of the toilet,
- pan height 420 millimetres too low,
- pan 360 millimetres not far enough from side wall.



Inadequate internal natural lighting

<b>Date assessed :</b> 7.03.2013 7.30am	<b>10</b>
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**Building structure and DDA comments - prepared by LP Building Consultants****Date assessed : 08/04/2013 @ 9:10am**

- no back rest,
- side grab rail 745 millimetres too low,
- grab rail on side 800 millimetres too short,
- toilet paper at 920 millimetres high to high,
- no shelf,
- no cloths hook,
- sufficient circulation space for hand basin but pipe work under hand basin encroaches,
- hand basin controls 350 millimetres from front of basin too far,
- no cubicle suitable for designated Ambulant facilities provided in the Male or Female facilities.

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Harry Bird Park, Victoria Park Lake, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building between the lake and camping reserve



Timber modesty screens to cubicle entrances



Heavy materials internally, issue with water pooling



Cleaning area to back of the building, high use by backpackers

**Toilet type :** 1970's brick facility. Accessible cubicle. Male and Female cubicles and showers.

**General comments :**

- Located next to Victoria Park Lake and . They are on the Southern approach and in close proximity to a campground and the Con Palling Facilities (site 4).
- Bushland setting restricts views around building
- Recently renovated with more modifications planned.
- Showers at facilities, intended for use by homeless people, but also highly used by backpackers.
- The building appearance dark and unwelcoming.
- Internal natural light is inadequate.
- Fittings and fixtures are aged, but generally in a satisfactory condition.



External materials

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 04/04/2013 @ 10:00am

**Structural issues:**  
Structurally sound.

**Access requirements:**

- No identified accessible parking,
- area surrounded by gravel,
- minor step up on concrete to toilet,
- signage not beside door,
- non compliant entrance door,
- privacy latch too high,
- pan distance from side wall not correct,
- no back rest,
- toilet paper too high,
- difficult to reach the controls of the washbasin,
- Additional facilities in the male and female not suitable in size for people with ambulant disabilities,
- access is via two steps to the entrance doors and doorway are too narrow,
- no handrails,
- toilet seat too low and door opens in and does not have removable hinges.



Internal natural lighting not adequate

**Date assessed :**  
7.03.2013  
7:30am

**Public Toilet Review**

Greater Shepparton City Council

**Site :**  
Jaycee Park, Murchison

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			█
Universal access			█
Use		█	
Future demand		█	
Proximity to other toilet facilities (in CBD)	█		
Proximity to activity areas		█	
Maintenance-building structure		█	█
Maintenance-cleaning			█
Building character			█
Building perception			█

DRAFT



Sound along building between the lake and camping reserve

**Toilet type :** 1980's brick facility, with male and female cubicles

**General comments :**

- The facility is located on River Road in bushland setting on the Goulburn River.
- Facility is well signed from the road although male/female signage is unclear.
- Building is utilitarian, unwelcoming and appears aged and dirty.
- Parking is available but not defined.
- Internal fittings and fixtures are in poor condition.
- Internal walls are dirty and have a bugged brick finish, making cleaning difficult.
- Lighting is inadequate.
- Evidence of graffiti and vandalism
- Wasps/insect nests in facility

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 05/04/2013 @ 4:15pm

**Structural issues:**

Structurally sound with minor issues regarding debris in gutters and on the roof.

**Access requirements:**

- No identified accessible parking,
- no defined external accessible path,
- signage to the toilets indicate accessible facilities with white on blue only,
- non compliant entrance door,
- non compliant door way to cubicle,
- cubicle has a grab rail but inadequate circulation space around the door to allow access,
- cubicle size is inadequate,
- pan height low,
- pan distance from side and rear wall not correct,
- grab rail too high,
- wash basin too close to the toilet pan in the front,
- difficult to reach the controls of the washbasin and has pipe under restricting access.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



Entrance is not visible from activity areas



Bugged brick finish walls appear dirty



Industrial style doors and fixtures are not welcoming



Inadequate, aged lighting



Insect nests

<b>Date assessed :</b> 22.03.2013 10:50am	<b>12</b>
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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Lorna Tingay, John McEwan Reserve, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Incorporated into club house and pavilion, between tennis courts and soccer fields



Entrance obscured by vegetation



Entrance gated



Glass bricks allow good natural light

**Toilet type :** Sports use toilet, 1990's brick facility, with male and female cubicles

**General comments :**

- Located in the sports precinct in Shepparton North.
- Facilities open for events only.
- No designated car parking available but path to facilities is provided.
- No directional signage to facilities, but clear signage on the front of the building.
- Internal fittings and fixtures are well maintained.
- Glass bricks provide clear natural light but still ensure security.
- Laminated particle board doors swell when holed down during cleaning.
- Minimal evidence of graffiti and vandalism.
- Cleaned by sports groups.



Wear marks on surface and doors.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 04/04/2013 @ 11:00am

**Structural issues:**  
Structurally sound.

**Access requirements:**

- Identified accessible parking of insufficient size,
- no signage,
- non compliant entrance door,
- non compliant doorway to cubicle,
- cubicle size is inadequate with hand basin,
- pan height low,
- pan distance from side and rear wall not correct,
- grab rail incorrect size at the back,
- toilet paper too high,
- flushing controls too high,
- difficult to reach the controls of the washbasin and has pipe under restricting access.
- Additional facilities in the female not suitable for people with ambulant disabilities.



Damage to insulation externally

<b>Date assessed :</b> 14.03.2013 4.00pm	13
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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

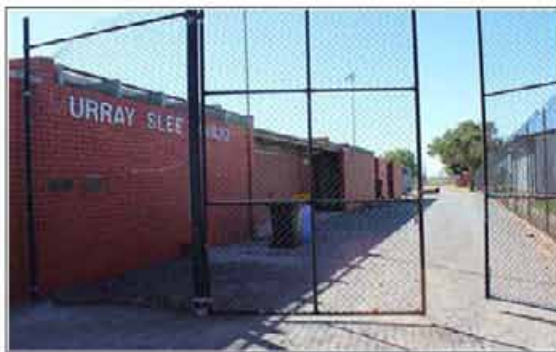
**Site :**  
Soccer Surrounds, John McEwan Reserve, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Facilities incorporated into sports pavilion, to the rear of the building adjacent 3m fence

**Toilet type :** Sports use, 1970's brick facility, with male and female cubicles, built into club house and canteen. Note, internal sports use showers are not included in this assessment

**General comments :**

- Located at the rear of the Murray Slew Pavilion.
- Access is through large gates adjacent to the Hockey fields and is unwelcoming and unclear.
- Trip hazards and hiding places at entries.
- Internal materials and finishes are difficult to maintain.
- Inadequate internal natural light but adequate artificial lighting.
- Recently renovated with grab rails and other fittings.
- Cleaned by sports groups.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 04/04/2013 @ 11:50am

**Structural issues:**  
Structurally sound.

**Access requirements:**

- Identified accessible parking of insufficient size.
- Incorrect signage.
- gravel walkway.
- step up on concrete to toilet.
- non compliant entrance door.
- opens out with no self-closer.
- cubicle size is inadequate.
- pan height low.
- pan distance from side and rear wall not correct.
- toilet paper too high.
- flushing controls incorrect location.
- difficult to reach the controls of the washbasin and has pipe under restricting access.
- Additional facilities in the male and female suitable in size for people with ambulant disabilities but door width narrow.
- no handrails.
- toilet seat too low and door opening in and does not have removable hinges.



Entrances signed, but internal layout confusing



Trip hazard at entrance



Limited natural light through hollows in bricks and louvers



Recent renovations included the replacement of fixtures



Material shows significant wear and is difficult to maintain

<b>Date assessed :</b> 14.05.2013 3:30pm	<b>14</b>
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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
John Piek, Victoria Park Lake, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building within parkland along major highway



Well defined access to facility, clear sightlines



Signage and open entrance



Natural light

**Toilet type :** 1960's brick stand alone facility, with Male and Female cubicles and cleaners station

**General comments :**

- Located in high activity area in Victoria Park near skate park.
- Clear sightlines and defined access paths to the entrances. The facility is adjacent a skate park, playground, and also in close proximity to Victoria Park Lake.
- Significant evidence of graffiti and vandalism.
- Good internal natural light.



Evidence of vandalism and graffiti

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 04/04/2013 @ 8:45am

**Structural issues:**

Structurally sound but some of eave lining damaged.

**Access requirements:**

- Identified accessible parking in the car park of Tom Collins Drive,
- no directional signage,
- shared bay 2 metre wide of insufficient size and no bollard,
- accessible path is bitumen then gravel or pavers with up to 10mm lips,
- 15 millimetre lip up onto the paving at the entrance to the toilets,
- 20 millimetre step up from the pavers to the concrete floor of the toilet,
- Signage outside the facility not beside the door,
- signage too high,
- entrance door has no external handle,
- has no door closer,
- female pan dimensions noncompliant with 440 millimetre from the side wall and 870 millimetre to front,
- toilet paper location noncompliant,
- side handrail too short,
- no back rest,
- no shelf,
- no cloths hook,
- sufficient circulation space for female hand basin but tap controls 350 millimetre back from the front,
- for male hand basin has pipes under and only 740 millimetre high,
- no mirror,
- hand dryer installed at 1350 millimetres which is too high.
- Additional facilities of sufficient size for designated ambulant access but no handrails,
- door opens in and is not removable and door width insufficient.



Evidence of vandalism in building fabric

<b>Date assessed :</b> 6.03.2013 11:30am	15
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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Recreation Reserve, Katandra West

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building within sports precinct



Clear sightlines from entrance of reserve



Entrance to the back of site



Visible building cracks, personalised signage

**Toilet type:** 1970's brick stand alone facility, with male and female cubicles and cleaners station

**General comments :**

- Located in high activity area in the Katandra West Recreation Reserve of Katandra West.
- Clear views to the building from the reserve entrance and only minor visual obstructions around the building.
- Signage is not obvious and access into the building is unclear.
- Internal layout is confusing and there are internal hiding places.
- Minimal evidence of vandalism and graffiti.
- Internal natural and artificial light internally is adequate.
- Daged brick and slate internal finishes are difficult to maintain.



Labyrinth layout

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 05/04/2013 @ 9:00am

**Structural issues:**

Structurally sound with minor issues regarding cracked brickwork and termite damage internal timbers around the cubicle doorways.

**Access requirements:**

- No identified accessible parking,
- surrounding gravel area with no line marking,
- rough gravel surface to the toilet,
- insufficient space for circulation at the entrance doors,
- no signage,
- non compliant entrance door,
- no cubicle suitable for use for people with disabilities and although the cubicle size is suitable for designated ambulant facility,
- the door width is not wide enough,
- the door swings in,
- does not have removable hinges,
- the pan height is too low and no grab rails present.



Internal lighting is not adequate

<b>Date assessed :</b> 14.03.2013 11:00am	<b>16</b>
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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Kids Town, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Free standing building within play and community facility



Ramp access with TGS and handrails from activity areas



All entrances along traffickable side



Light coloured material allows for natural light



Aged fixtures and fittings



Baby change not adequate for facility

**Toilet type :** 2000's free standing brick facility, with baby change, male, female and accessible cubicles.

**General comments :**

- Located in community playground and gardens.
- Recently renovated.
- Facilities are clearly signed and entrances are obvious.
- Internal natural lighting is adequate.
- Fixtures and fittings are aged but working.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 08/04/2013 @ 10:10am

**Structural issues:**

Overall structurally sound however there are some cracks in the block work at the top of the accessible toilet door and the baby change room that need addressing to ensure there is no potential for the "loose" blocks to fall.

**Access requirements:**

- Identified accessible parking in adjacent car park to the south,
- no directional signage,
- parking bays 4.9 metres not long enough,
- shared bay 7 metres not wide enough,
- no bollard,
- kerb ramp in poor condition with chips and cracks,
- external accessible path asphalt and concrete ramp with handrails, west handrail too low at 845 millimetres,
- cubicle size 2850mm wide x 2620mm long,
- pan 680 millimetres not far enough out from back wall,
- no back rest,
- side grab rail only 25 millimetres diameter and not continuous and noncompliant orientation,
- no handrail on back wall,
- no shelf,
- no clothes hook,
- insufficient circulation space for hand basin with its location in the corner and pipe work under hand basin,
- no vehicle suitable for designated Ambulant facilities provided in the Male or Female facilities.

**Date assessed :**

6.03.2013  
3:30pm

16

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Judd Park, Merrigum

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building near playground and BBQ facilities



Enclosed structure with industrial/rural character



Car parking with access into activity areas



Signage

**Toilet type :** 2010's prefabricated free standing facility, with baby change and unisex, accessible cubicle

**General comments :**

- Located in Judd Park near playground.
- Prefabricated unit.
- Clear views to facility from the park.
- Poor internal lighting. Interior feels dark and uninviting.
- Good external lighting.
- Stainless steel internal finishes are easy clean and hygienic.
- Facility appears well maintained and well used.



Internal stainless steel surfaces

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 27/03/2013 @ 2:45pm

**Structural issues:**

Excellent condition with no structural issues identified.

**Access requirements:**

- 2 identified accessible parking bays located in the angle parking to the park with no shared bay,
- no bollard installed,
- external accessible path 1m wide,
- steeper than 1:20 estimated at 1:16 so requires tactiles,
- handrail and kick rail both sides,
- insufficient circulation space at change in direction,
- insufficient Luminance contrast between door and wall,
- 7 millimetre step from concrete plus 10 millimetre lip at entrance door,
- insufficient circulation space to the front of the door,
- insufficient Luminance between the walls and the fittings within the facility,
- no backrest installed to the toilet,
- grab rail to the toilet installed too low at 790 millimetre high,
- no shelf,
- soap dispenser is too close to the corner 340 millimetre and installed too high at 1150 millimetres,
- stainless steel mirror is of insufficient height at 1690 millimetres to the top,
- baby change table is too low with 640 millimetres clearance underneath when folded out.



Stainless steel is difficult to keep looking clean

**Date assessed :**  
14.03.2013  
2:30pm

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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Pine Lodge Cemetery, Pine Lodge South

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Free standing brick building within cemetery, incorporated into shade structure: waiting area

**Toilet type :** 1970's stand alone facility with accessible, male and female cubicles.

**General comments :**

- Located at Pine Lodge Cemetery it incorporates shaded waiting and information areas.
- Clear views to the building from within the cemetery.
- Entrances to buildings are not obvious.
- Located centrally to parking and access paths.
- Internal natural and artificial light is not adequate. Interior feels dark and uninviting.
- Windows are locked and do not provide ventilation.
- There are multiple places for concealment, including nesting of birds and insects (many nests reported).

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 05/04/2013 @ 7:50am

Structural issues:

Structurally sound.

**Access requirements:**

- No identified accessible parking.
- kerb ramp no tactile.
- insufficient circulation space at top and no splay.
- non compliant signage.
- white on blue on door with no braille.
- non compliant entrance door.
- non compliant doorway to cubicle.
- cubicle size is inadequate.
- pan height low.
- pan distance from side and rear wall not correct.
- grab rail noncompliant in length.
- toilet paper too high.
- difficult to reach the controls of the washbasin and has pipe under restricting access.
- Facilities in the male and female not suitable for people with ambulant disabilities.



Clear views to facility



Car parking with access into cemetery



Access into cubicles is recessed and not obvious



Inadequate turning space in accessible cubicle



Inadequate internal lighting

**Date assessed :**  
14.03.2013  
9:30am

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Eastern Block, Princess Park, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	← High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Brick building within sports precinct, entrances to the rear of building



Building visible from entrance to sports precinct



Trip hazard at entrance to building



Skylight improves natural light, but internal light is still inadequate

**Toilet type :** Sports Use. 1960's brick facility with male and female cubicles. Incorporated into Club House and Canteen

**General comments :**

- Located in the high activity sports precinct at Princess Park.
- Clear views to the facility from the main entrance and the rear of the building (main road entrance). Facility entrances not obvious.
- Significant evidence of graffiti and vandalism and reports of anti-social behaviour.
- Cleaned by sports groups and Council.



Safety mesh on the roof to restrict access

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 04/04/2013 @ 11:30am

Structural issues:

Structurally sound.

**Access requirements:**

- No identified accessible parking in the car park area.
- kerb ramp leads to grassed area ramp that is too steep.
- step up from grass to concrete apron.
- step up into toilet area.
- Insufficient space for circulation at the entrance doors.
- no signage.
- non compliant entrance door.
- no cubicle suitable for use for people with disabilities and although the cubicle size is suitable for a designated ambulant facility.
- the door width is not wide enough.
- the pan height is too low.
- no grab rails present.
- the doors open into the cubicle.



Evidence of graffiti and vandalism

Date assessed :  
14.03.2013  
3.00pm

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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Western Block, Princess Park, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Sound alone building within sports precinct, at back of site adjoining bushland reserve



Building visible from within sports precinct



Trip hazard at entrance to building



Adequate natural lighting

**Toilet type :** Sports Use, 1960's brick facility with Male and Female cubicles.

**General comments :**

- Located on the Bushland reserve side of Princess Park close to the oval and grandstands.
- Clear views to the facility from the main entrance.
- Dual entrances to both male and female facilities. Entrances on the far side of the building are not obvious.
- Significant evidence of vandalism and many reports of anti-social behaviour and inappropriate use of facilities. Facilities often broken into while locked.
- Building is generally in good condition, but some fixtures and fittings require replacement.
- Good internal natural light. Interior feels light and welcoming.
- Cleaned by sports groups and Council.
- Poor drainage in women's toilets.



Evidence of vandalism

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 04/04/2013 @ 10:30am

**Structural issues:**

Structurally sound but has minor cracking of the brickwork in the south east walls.

**Access requirements:**

- No identified accessible parking in the surrounding gravel car park area,
- ramps that are too steep,
- two steps up from gravel to concrete floor of male toilet,
- insufficient space for circulation at the entrance doors,
- no signage,
- non compliant entrance door,
- no cubicle suitable for use for people with disabilities and although the cubicle size is suitable for a designated ambulant facility,
- the door width is not wide enough,
- the pan height is too low,
- no grab rails present,
- the doors open into the cubicle,
- doors do not have lift off hinges.



Evidence of vandalism

**Date assessed :**  
14.03.2013  
3:30pm

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**Public Toilet Review**  
Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Queen's Gardens, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Mod	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Separate male and female buildings within central gardens



Defined path to male facilities, undercover car park to left, and gardens to right



Entrance into facilities obscured by brick wall



View to rear of buildings obscured

**Toilet type :** 1950's brick facility with male and female cubicles.

**General comments :**

- Located within the CBD of Shepparton, between the Council offices, Art Gallery and major retail precinct.
- Facilities are not clearly visible from the street. Well defined paths provide clear direction from within the park, however.
- The two buildings are between the gardens and a car park, and sit behind a large enclosed high use community performance stage (which opens up for events).
- Fixtures and fittings are aged and facilities appear aged and in poor condition.
- Ventilation is inadequate.
- Internal natural light is inadequate. Artificial light is required during the day.



Enclosed windows, restrict ventilation and lighting

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 08/04/2013 @ 8:15am

**Structural issues:**

Structurally sound but with the gutters full of debris and minor weathering off the external brickwork.

**Access requirements:**

- Identified accessible parking to the west of the park on the west side of Welford Street making it the other side of a divided main street,
- no directional signage,
- single bay 4 metres wide 7.3 metres long with bollards then 1.8 metre wide footpath,
- delineated area at the end of the bay 4 metre wide to match the bay 2.2 metre long,
- accessible path is concrete paths,
- across bitumen roadways through three kerb ramps into the park,
- concrete paths have lips and steps at the toilet facilities,
- no accessible signage outside the male or female facility,
- no contrasting colour between the toilet door and the walls,
- privacy latch 1150 millimetres too high,
- has no door closer,
- inadequate circulation space in front of the door,



Finishes, fixtures and fittings are aged

**Date assessed :**  
06.03.2013  
3:30pm



**Building structure and DDA comments - prepared by LP Building Consultants****Date assessed : 08/04/2013 @ 8:15am**

- inadequate circulation space in front of the door,
- cubicle size 1620mm wide x 2800mm long non-compliant,
- with insufficient circulation space for toilet,
- Female pan setup noncompliant with 450 millimetres top of seat 740 millimetres to front of pan and 410 millimetres from side wall,
- Male pan setup noncompliant 440 millimetres to top of seat 600 millimetres to front of pan 500 millimetres from side wall,
- only 1000 millimetres clearance in front of pan,
- toilet paper location 1000 millimetres high noncompliant,
- side handrail 820 millimetres too high,
- no back rest,
- no shelf,
- cloths hook on back of door 1760 millimetres too high,
- hand basin at 720 millimetres high,
- hand basin tap controls 350 millimetres back from the front,
- no mirror,
- hand dryer installed at 1300 millimetres too high,
- hand dryer installed 400 millimetres from corner.
- Additional facilities of insufficient size for ambulant access,
- no signage,
- insufficient circulation space,
- no handrails,
- pan height too low.

**Public Toilet Review**  
Greater Shepparton City Council

**Site :**  
Queen's Gardens, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Mod	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Steel facade with feature graphics and fully automated doors

**Toilet type :** New prefabricated fully automated facility with 3 unisex and accessible cubicle.

**General comments :**

- Located within the CBD of Shepparton, between the Council offices, Art Gallery and major retail precinct.
- Very close to other facilities in Queens Gardens
- Facilities are clearly visible from the street.
- Building, fixtures and fittings all in excellent condition.
- No internal natural light. Artificial light is required during the day.
- Used regularly, but many people would not use it because it is fully automated.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 08/04/2013 @ 8:15am

**Structural issues:**

Structurally sound. "As new" condition

**Access requirements:**

- Identified accessible parking to the west of the park on the west side of Welford Street making it the other side of a divided main street,
  - no directional signage,
  - single bay 4 metres wide 7.3 metres long with bollards then 1.8 metre wide footpath,
  - delineated area at the end of the bay 4 metre wide to match the bay 2.2 metre long,
  - accessible path is concrete paths,
  - across bitumen roadways through three kerb ramps into the park,
  - non compliant signage with no white on blue or raised symbols or raised text. Assume brail is correct.,
- Accessible Facility
- non compliant signage and not installed in correct location .assume brail is correct.,
  - not 30% luminance contrast between the door and the wall of the cubicle,

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Date assessed :**  
06.03.2013  
11:30am

21



Ambulant facilities



Door activation buttons controlling access



Door opens up onto major road and pedestrian cross



Recessed hand washing areas



Artificial light only inside facility

**Date assessed :**  
14.05.2013  
1pm

23

**Building structure and DDA comments - prepared by LP Building Consultants****Date assessed : 08/04/2013 @ 8:15am**

- only 400mm beside the door on the inside handle side, not 530mm minimum (door activation by button on the opposite side to the door handle but makes it difficult to exit if the power fails and there is a requirement to manually open the door)
- grabrails at the back are 820mm high compared to 810mm high maximum,
- cloths hooks installed at 1400mm high compared to 1300mm high maximum,
- baby change table when folded up encroaches into circulation space by 170mm at the front where it is not permitted to encroach any distance,
- where baby change table installed minimum clearance required underneath is 720mm but existing baby change table has only 570mm clearance underneath,
- automatic soap dispenser location is 350mm from the internal corner which is closer than 500mm permitted, Ambulant facilities
- sanitary facilities for the Ambulant provided for the Male and Female facilities
- pan is 580mm to the front lip from the back wall which is not between 610 to 660mm,
- grab rails at 815mm high which is not between 800 to 810mm high.

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Riverbank Gardens, Marchison

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building, modesty screen only effective for accessible cubicle



Clear signages from the main road and access from car park (not defined)



Recessed entrance into facilities



Inadequate internal natural light

**Toilet type :** 1990's free standing brick facility with male, female and accessible cubicles.

**General comments :**

- Located along major tourist area in the heart of Marchison.
- Clear views of the facility from the street and surrounds.
- Car parking is provided but not defined.
- Access around building is not defined and is unsealed.
- Signage from the street and park is clear and entrances are clearly signed.
- Modesty screen to the front of the building not effective for all entries.
- Internal natural light and artificial is adequate.
- Floor does not drain effectively and holes have been created in wall to assist drainage.



Holes drilled into brick wall to allow water to drain out

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 05/04/2013 @ 3:30pm

**Structural issues:**

Structurally sound with minor issues regarding roof and stormwater discharge due to debris from overhead trees and issues regarding water from cleaning inside the toilet draining out.

**Access requirements:**

- No identified accessible parking in car park with all gravel area to the west.
- no directional signage,
- external access via gravel area to a 5 millimetre lip up onto the concrete surface.
- external signage non compliant with red symbol on white,
- specific designated accessible toilet separate to the designated male and female facilities,
- dimensionally noncompliant entrance door,
- entrance door swings in with no removable hinges,
- sufficient circulation space for toilet however,
- pan height too low,
- pan not far enough out from side wall,
- no grab rail on back wall,
- no back rest, no shelf,
- no cloths hook,
- sufficient circulation space for hand basin but installed too low,
- toilet paper dispenser installed too high,
- no cubicle suitable for designated Ambulant facilities provided in the Male or Female facilities.



Fixtures and fittings used but generally in good condition

**Date assessed :**  
22.03.2013  
10.30am

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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Shepparton Showgrounds, Shepparton

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building, along fence line to rear of site

**Toilet type :** 1970's brick facility with Male and Female cubicles.

**General comments :**

- Located at The Showgrounds adjacent to Thompson Street.
- High use during major events and functions.
- Internal natural light is inadequate.
- Evidence of minor graffiti.
- Building façade appears rundown and out-dated and is not in keeping with the surrounding architecture.

**Adr**



Clear views to building, no defined access with large expanse of asphalt surrounding



Two entrances into male and female facilities



Louvers and hollow bricks restrict natural light



Large waiting area internally, evidence of graffiti



Water pooling at entrance

<b>Date assessed :</b> 22.03.2013 3:30pm	25
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**Public Toilet Review**

Greater Shepparton City Council

**Site :**  
Stuart Mock Place, Tatura

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building set back between 2 buildings, which leads into park

**Toilet type :** 1980's brick facility with male and female cubicles

**General comments :**

- Located near Tatura town centre.
- Facility entry has welcoming appearance.
- There are internal and external hiding places.
- Regular use by locals and as a roadside stop.

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 06/04/2013 @ 8:50am

**Structural issues:**

Structurally sound.

**Access requirements:**

- Identified accessible parking in adjacent car park on west side of Francis Street,
- no directional signage,
- parking bays not long enough,
- no shared bay,
- no bollard,
- no external signage,
- specific designated accessible toilet separate to the designated male and female facilities,
- dimensionally non compliant entrance door,
- insufficient contrasting of the door,
- no signage to cubicle on wall beside door,
- non compliant door handle,
- insufficient circulation space for toilet due to location of hand basin,
- pan not far enough out from back wall or side wall,
- side grab rail too short,
- no back rest,
- cistern controls too high,
- no shelf,
- no cloths hook,
- sufficient circulation space for hand basin but tap too far back,
- no cubicle suitable for designated ambulant facilities provided in the male or female facilities.

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants



Toilet block obscured from main street, but forecourt entrance is welcoming



Forecourt entrance is welcoming



Adequate internal natural light



Baby change facilities are not adequate



Fixtures and fittings are aged and subject to ongoing maintenance

<b>Date assessed :</b> 13.03.2013 12.30pm	<b>26</b>
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 Level 1 Lot 2 Bush's Lane Bendigo VIC 3550

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Tatura Showgrounds, Tatura

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Stand alone building along the road, with designated parking. Entrances to cubicles are internal to the site



Toilet block obscured from main street



Entrances to cubicles are not inviting



Individual cubicle doors are heavy and fully enclose each cubicle

**Toilet type :** 1980's free standing brick facility with male and female cubicles

**General comments :**

- Located in a high use area adjacent to the swimming pool, club houses, football oval and showgrounds.
- Clear sightlines from street to facility and no obvious external hiding places.
- Good internal natural light.



Internal walls are not needed, and create internal hiding spaces

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 06/04/2013 @ 8:00am

**Structural issues:**

Structurally sound with minor issues regarding roof and stormwater discharge due to debris from overhead trees.

**Access requirements:**

- Identified accessible parking in the car park area,
- no bollard to the shared bay,
- external accessible path available to concrete path which is steeper than permitted as it leads to the toilet block,
- insufficient space for circulation at the entrance doors,
- no signage,
- non compliant entrance door,
- no cubicle suitable for use for people with disabilities and although one cubicle in male and female is of a suitable size for a designated ambulant facilities,
- the door width is not wide enough,
- the door opens in,
- door does not have removable hinges,
- the pan height is too low,
- no grab rails present.



Fixings are aged but well maintained

**Date assessed :**  
13.03.2013  
12.00pm

**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Undera

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety	█		
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)		█	
Proximity to activity areas			█
Maintenance-building structure	█		
Maintenance-cleaning		█	
Building character	█		
Building perception	█		

DRAFT



Pre-fab facility highly visible from main road, with parking area though not defined



Ramped access with hand rail



Building design allows natural light into facility



External wash basin

**Toilet type :** 2010's modular facility with male, female and accessible cubicles.

**General comments :**

- Facility is in good condition.
- Reports and evidence of minor vandalism.
- Regularly used as a roadside toilet stop.
- Clear sightlines to building and no obvious internal hiding places.
- Good internal and external lighting.



Individual cubicle with good natural light. Corrugated iron difficult to clean/maintain

**Building structure and DDA comments - prepared by LP Building Consultants**

Date assessed : 08/04/2013 @ 12:15pm

**Structural issues:**

Structurally sound. "As new" condition

**Access requirements:**

- No identified accessible parking in adjacent car park to the east but a gravel area with space available.
- no car parking signage or line markings.
- external accessible path is gravel area to concrete kerb ramp up to the concrete floor level of the toilet block.
- signage on cubicle door not beside it.
- no huckress.
- toilet paper dispenser at 970 millimetres too high.
- stainless steel bench at 910 millimetres too high as shelf or as a baby change table.
- no clothes hook.
- sanitary facilities for the Ambulant provided for the Male and Female facilities with pan heights at 410 millimetres too low.
- no coat hooks and only a horizontal handrail.



Accessible cubicle has table intended for use as an infant change facility

**Date assessed :**  
14.03.2013  
2.00pm

LB

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**Public Toilet Review**

Greater Shepparton City Council

Prepared by Liesl Malan Landscape Architects in collaboration with LP Building Consultants

**Site :**  
Water Tower Gardens, Mooroopna

**Site Assessment**

Assessment has been based on site observations and anecdotal evidence. User data was not available when this report was prepared.

	High	Med	Low
Safety			
Universal access			
Use			
Future demand			
Proximity to other toilet facilities (in CBD)			
Proximity to activity areas			
Maintenance-building structure			
Maintenance-cleaning			
Building character			
Building perception			

DRAFT



Allocated car parking with accessible bays



Water Tower and vegetation restrict access and views



Defined pathways around facility, damage to path from tree roots.



Good natural light

**Toilet type :** 1980's free standing brick building with male, female & accessible cubicles & baby change table.

**General comments :**

- Located in high use area in Mooroopna's CBD.
- Evidence of graffiti.
- Internal fixtures and finishes in poor condition.



Evidence of vandalism and graffiti

**Building structure and DDA comments - prepared by LP Building Consultants**

**Date assessed :** 22/03/2013 @ 2:10pm

**Structural issues:**

Structurally sound with minor issues regarding roof and stormwater discharge due to debris from overhead trees.

**Access requirements:**

- Identified accessible parking in adjacent car park and north side of McLennan Street,
- no directional signage,
- parking bays 5 metres not long enough,
- no shared bay,
- no bollard,
- kerb ramp where expected but insufficient landing size at the top,
- external accessible path 1 metre wide but cracks in surface and undulations due to tree roots,
- external signage non compliant and has no braille,
- insufficient contrasting of the door,
- incorrect signage to cubicle on wall beside door and has no braille,
- noncompliant door handle,
- sufficient circulation space for toilet however the sanitary bin encroaches in this space,
- pan height 490 millimetres too low,
- pan 770 millimetres not far enough out from back wall,
- pan 410 millimetres too close to side wall,
- side grab rail too short,
- grab rail on back wall too far away from cistern,
- no back rest,
- no shelf,
- no cloths hook,
- sufficient circulation space for hand basin but pipe work under hand basin encroaches.



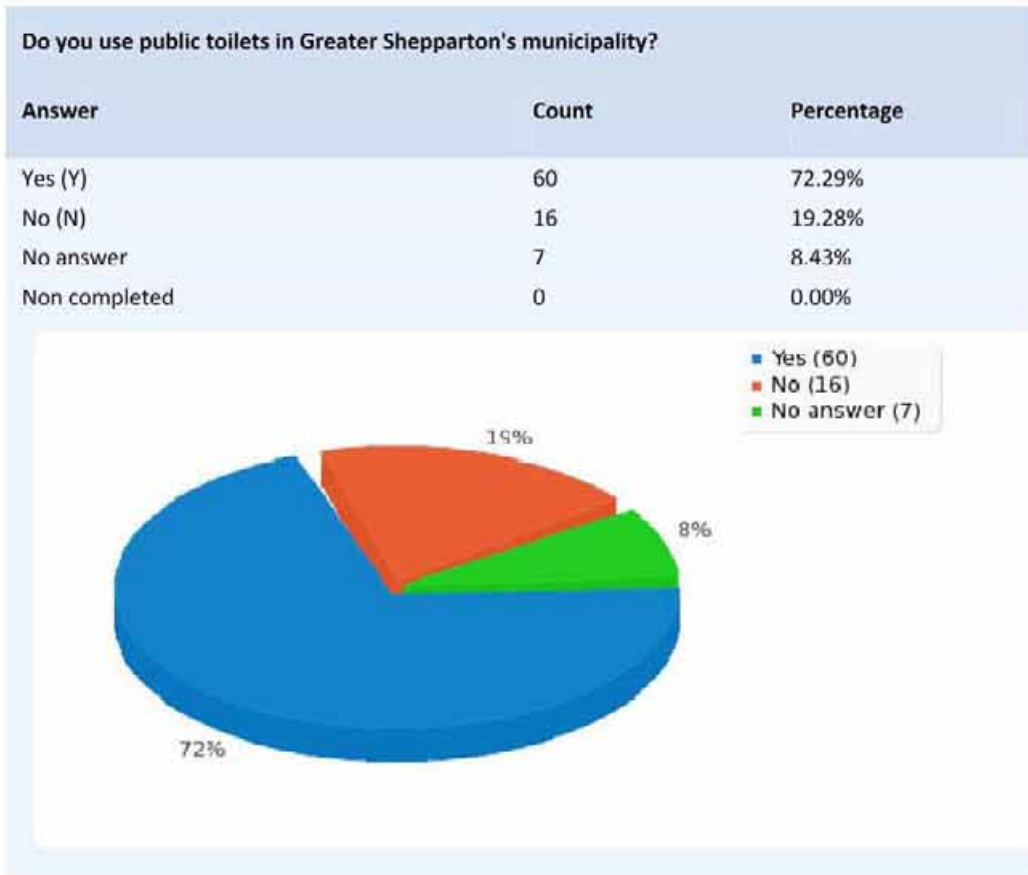
Structural damage to building due to inadequate drainage

**Date assessed :**  
22.03.2013  
3.00pm

## Appendix 2

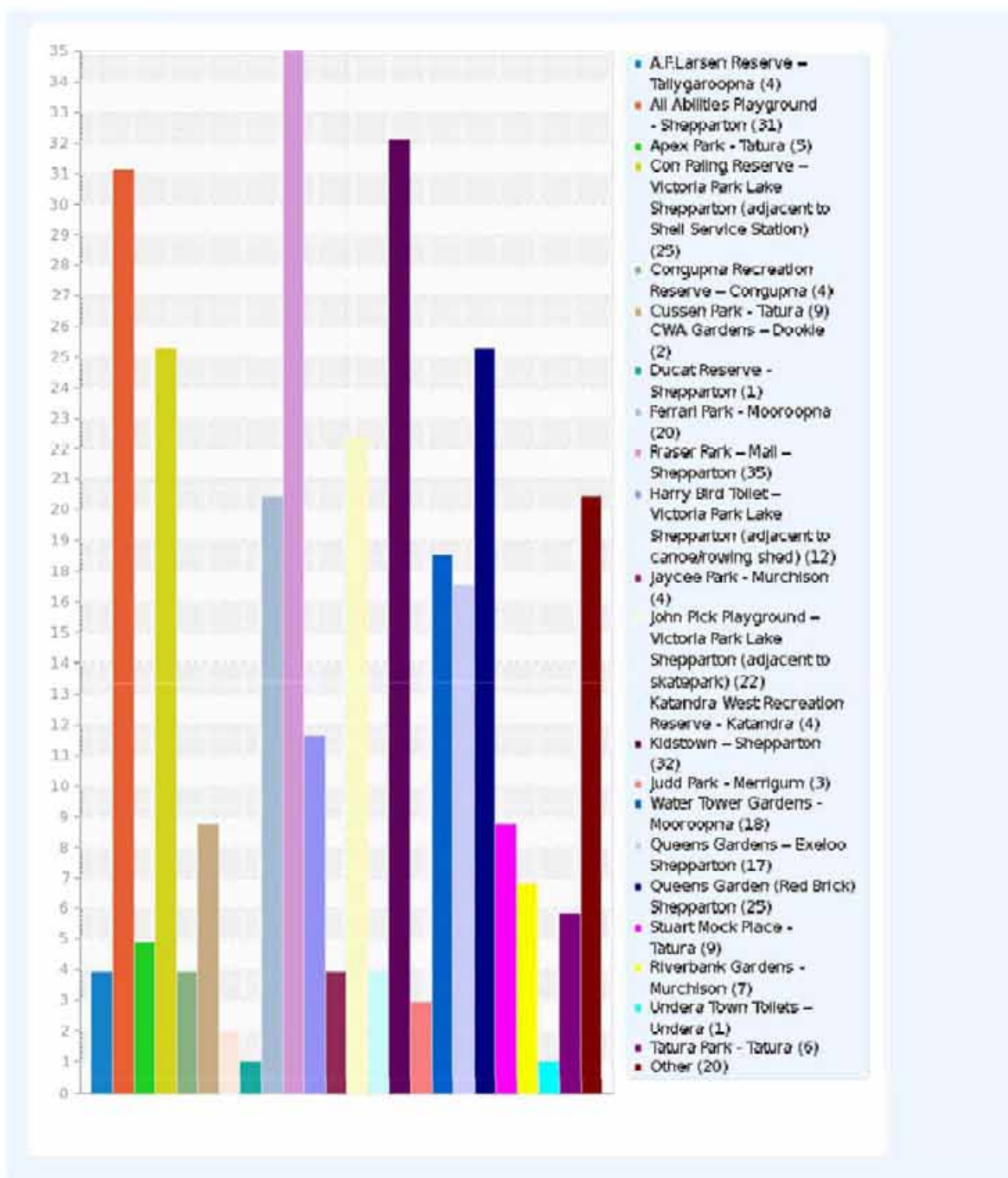
Summary of survey findings

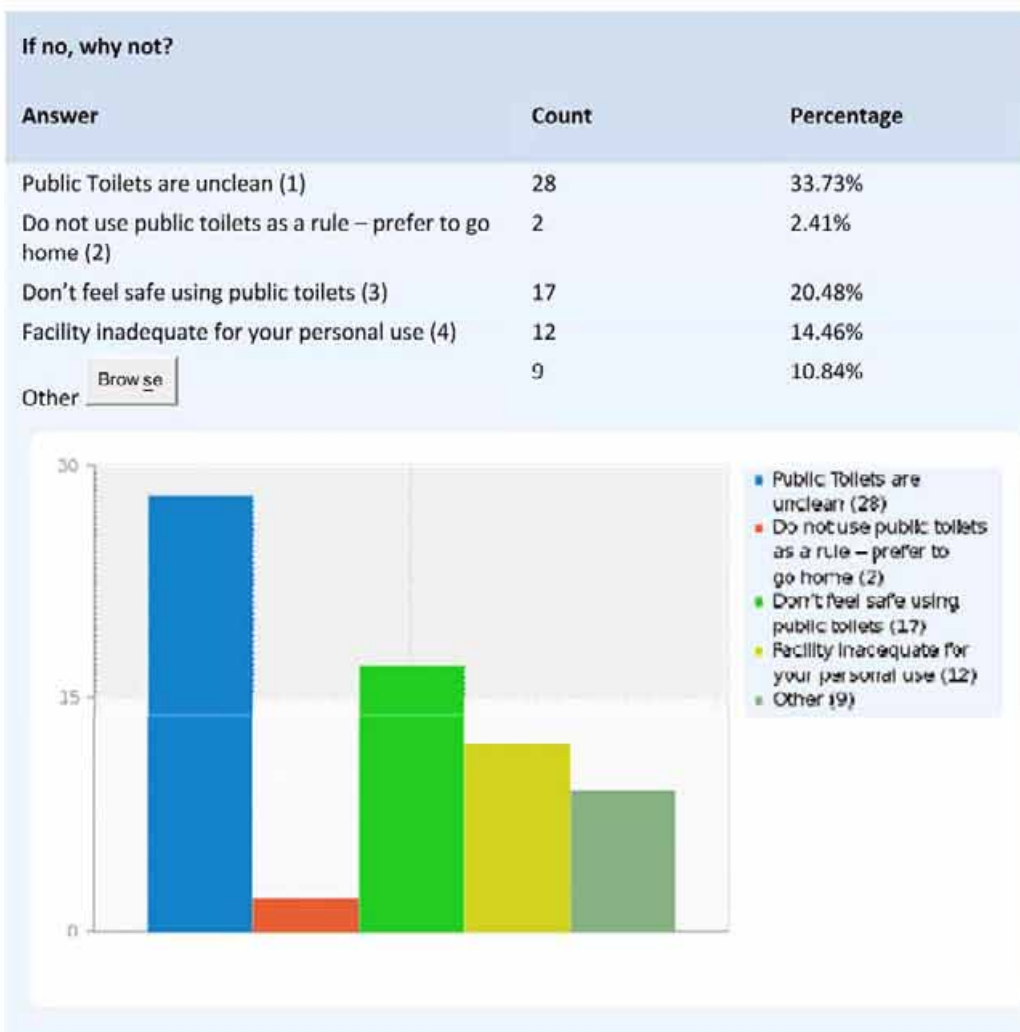
Draft

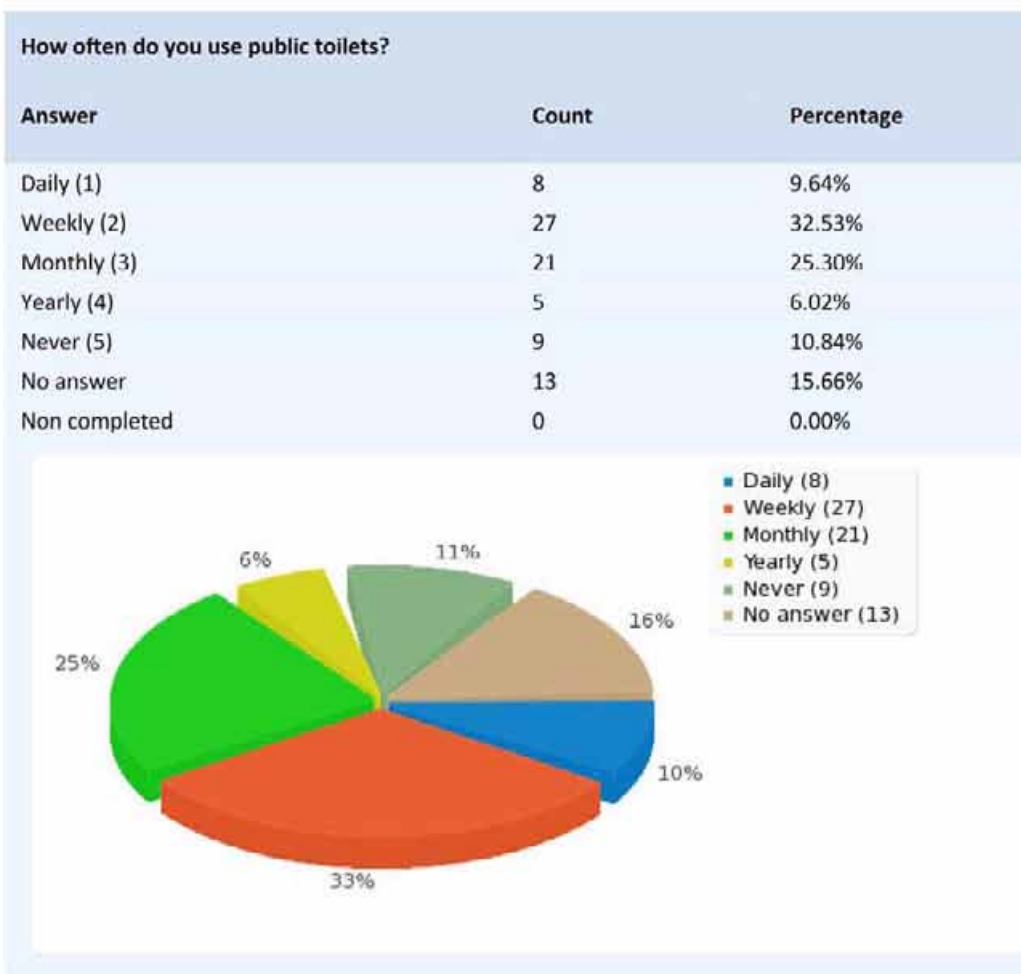


If yes, please tick locations used:		
Answer	Count	Percentage
A.F.Larsen Reserve – Tallygaroopna (1)	4	4.82%
All Abilities Playground - Shepparton (2)	31	37.35%
Apex Park - Tatura (3)	5	6.02%
Con Paling Reserve – Victoria Park Lake Shepparton (adjacent to Shell Service Station) (4)	25	30.12%
Congupna Recreation Reserve – Congupna (5)	4	4.82%
Cussen Park - Tatura (6)	9	10.84%
CWA Gardens – Dookie (7)	2	2.41%
Ducat Reserve - Shepparton (8)	1	1.20%
Ferrari Park - Mooroopna (9)	20	24.10%
Fraser Park – Mall – Shepparton (10)	35	42.17%
Harry Bird Toilet – Victoria Park Lake Shepparton (adjacent to canoe/rowing shed) (11)	12	14.46%
Jaycee Park - Murchison (12)	4	4.82%
John Pick Playground – Victoria Park Lake Shepparton (adjacent to skatepark) (13)	22	26.51%
Katandra West Recreation Reserve - Katandra (14)	4	4.82%
Kidstown – Shepparton (15)	32	38.55%
Judd Park - Merrigum (16)	3	3.61%

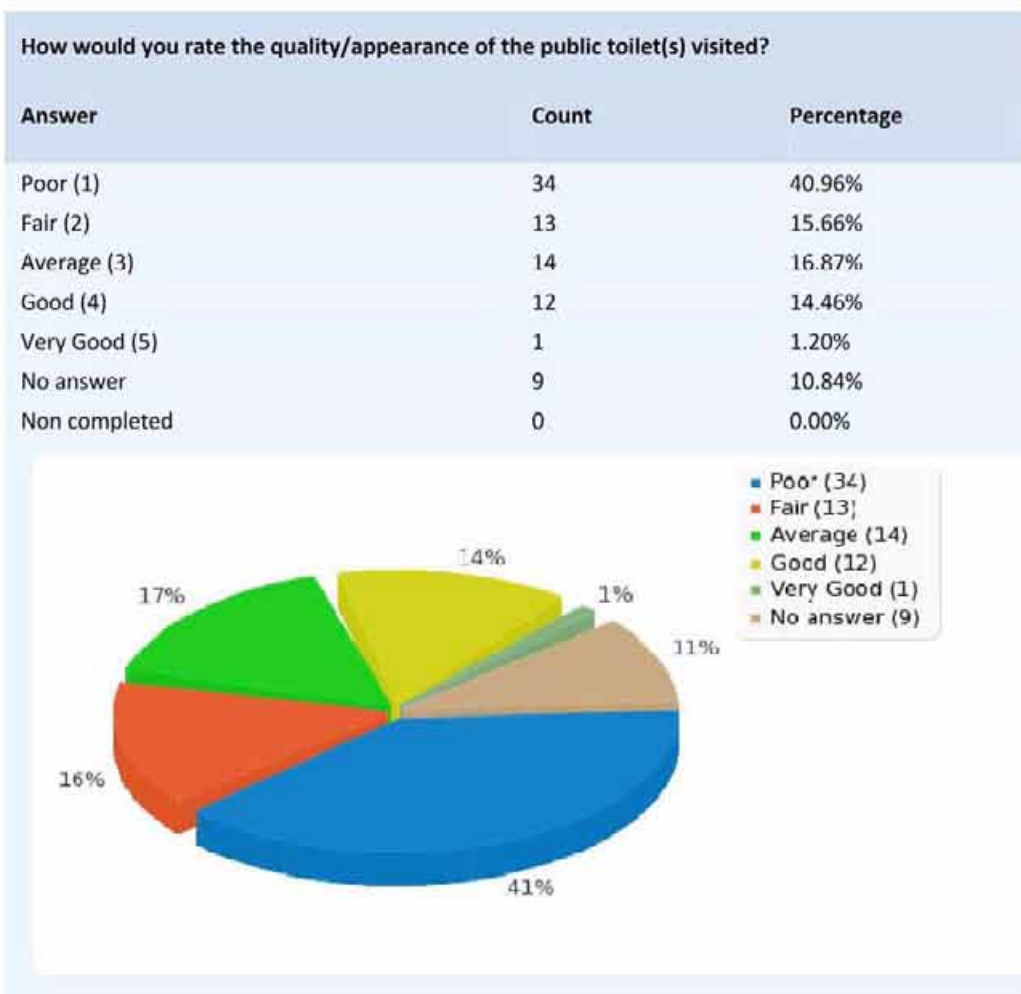
Water Tower Gardens - Mooroopna (17)	18	21.69%
Queens Gardens – Exeloo Shepparton (18)	17	20.48%
Queens Garden (Red Brick) Shepparton (19)	25	30.12%
Stuart Mock Place - Tatura (20)	9	10.84%
Riverbank Gardens - Murchison (21)	7	8.43%
Undera Town Toilets – Undera (22)	1	1.20%
Tatura Park - Tatura (23)	6	7.23%
Other <input type="button" value="Browse"/>	20	24.10%

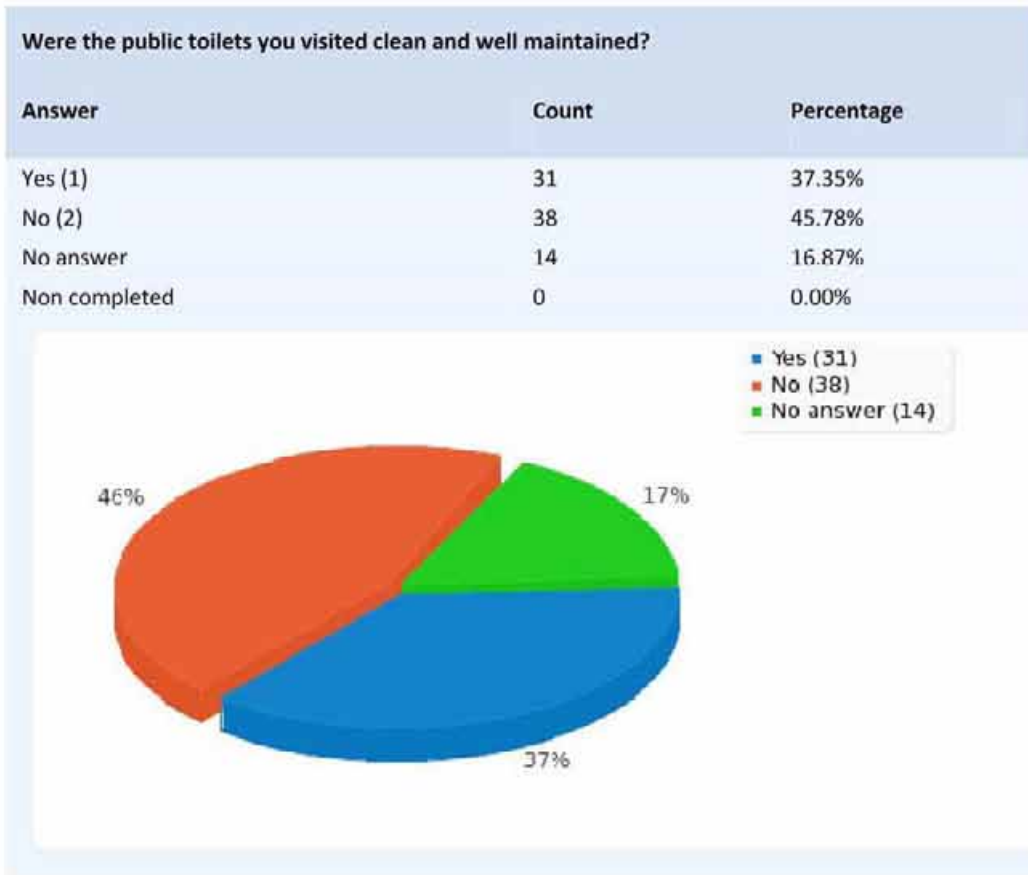


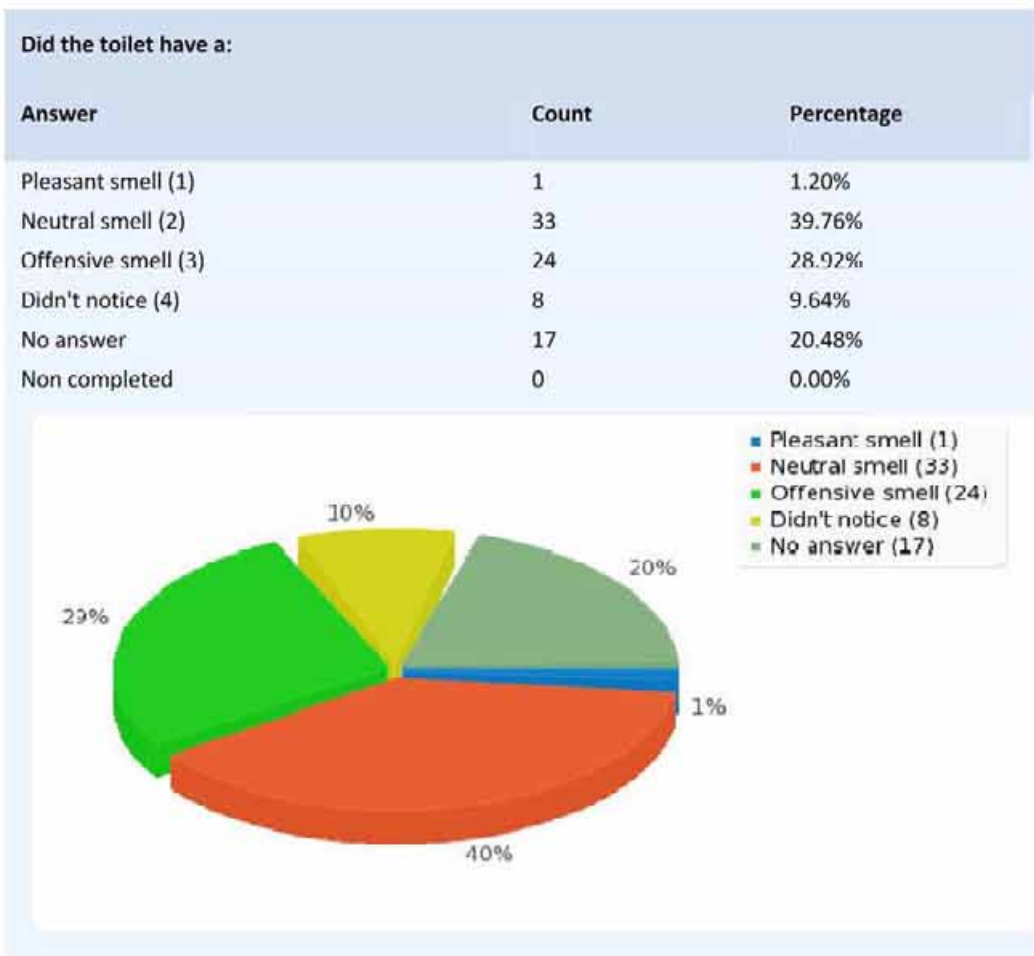


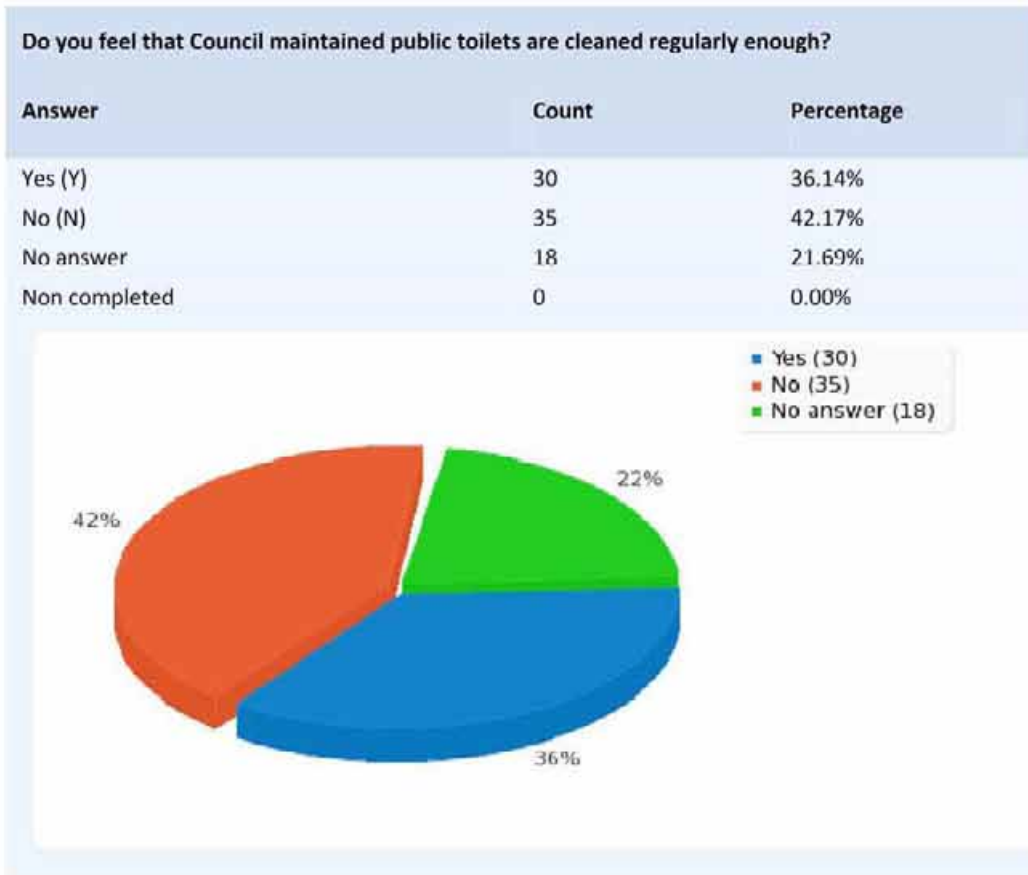


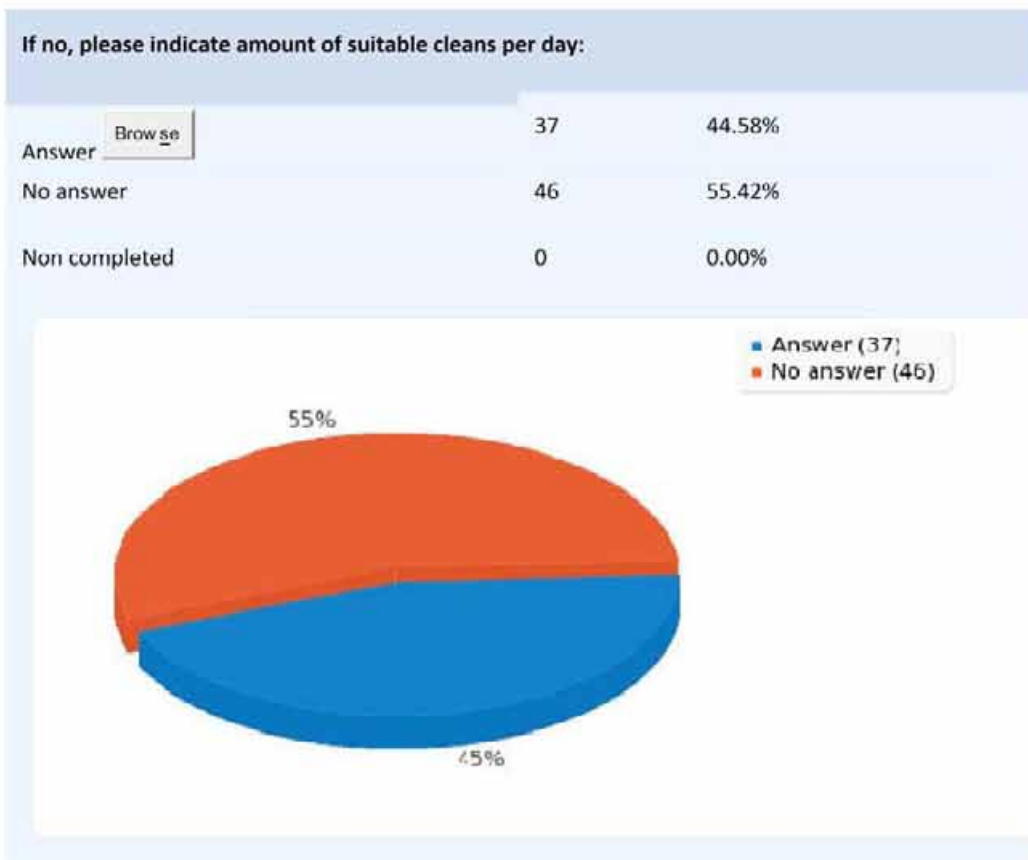


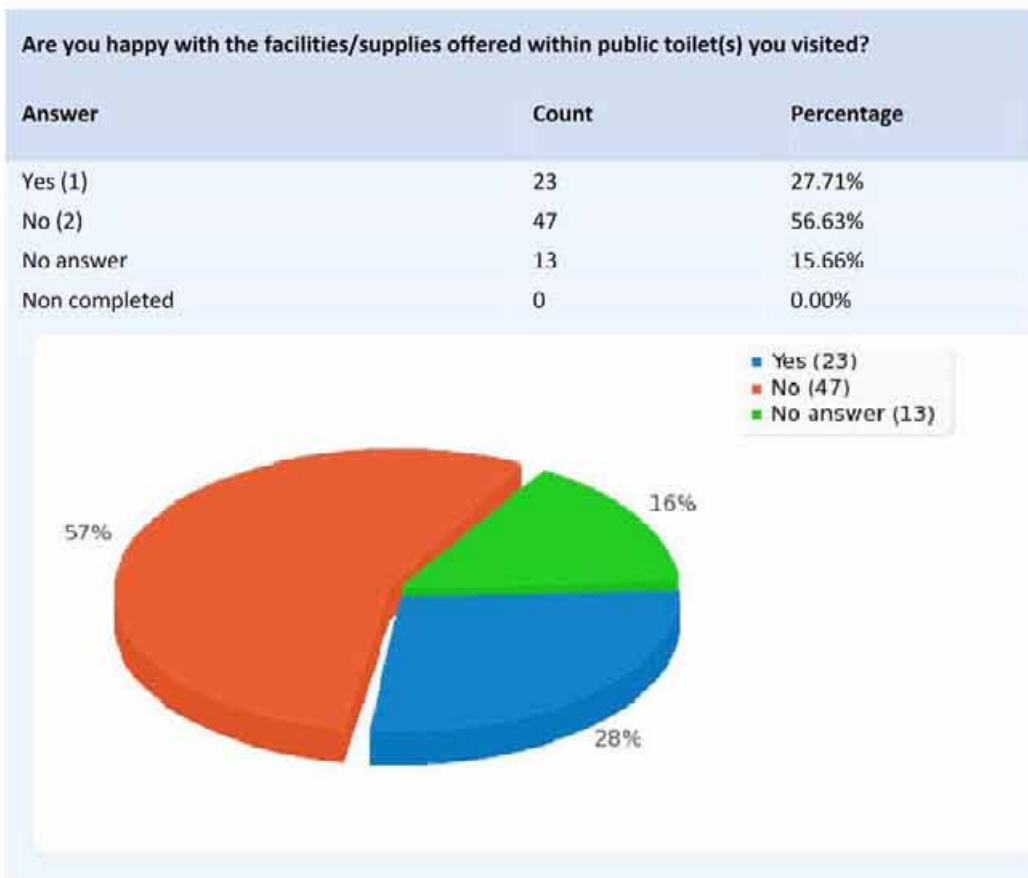


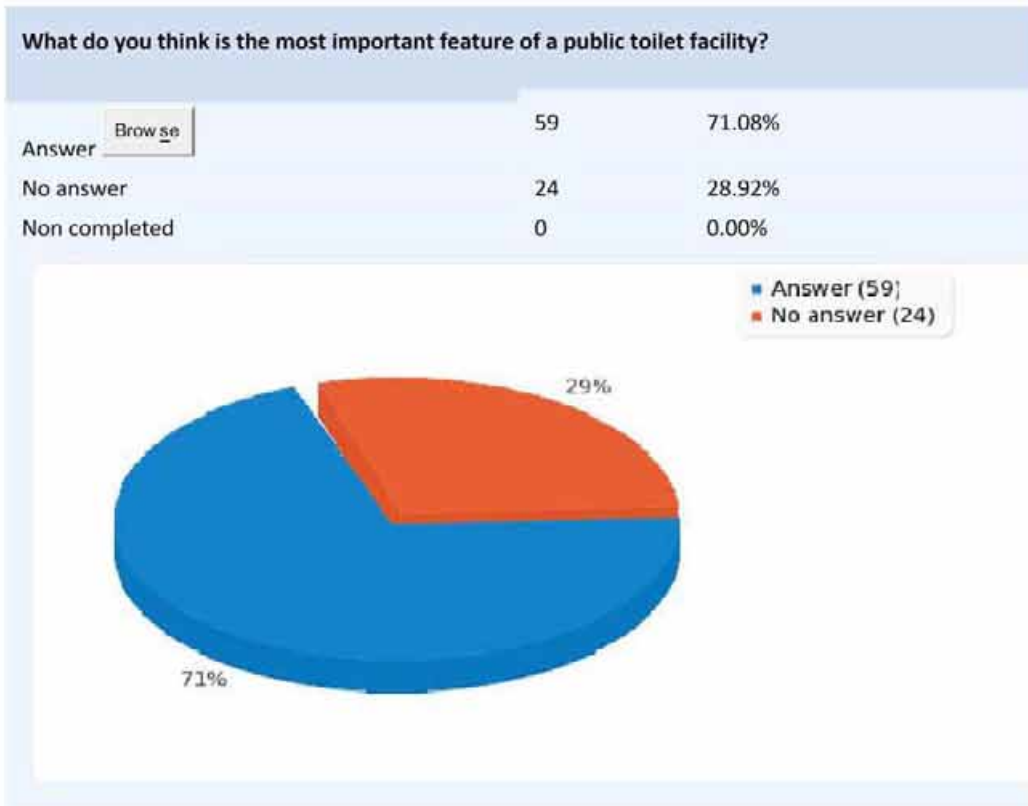


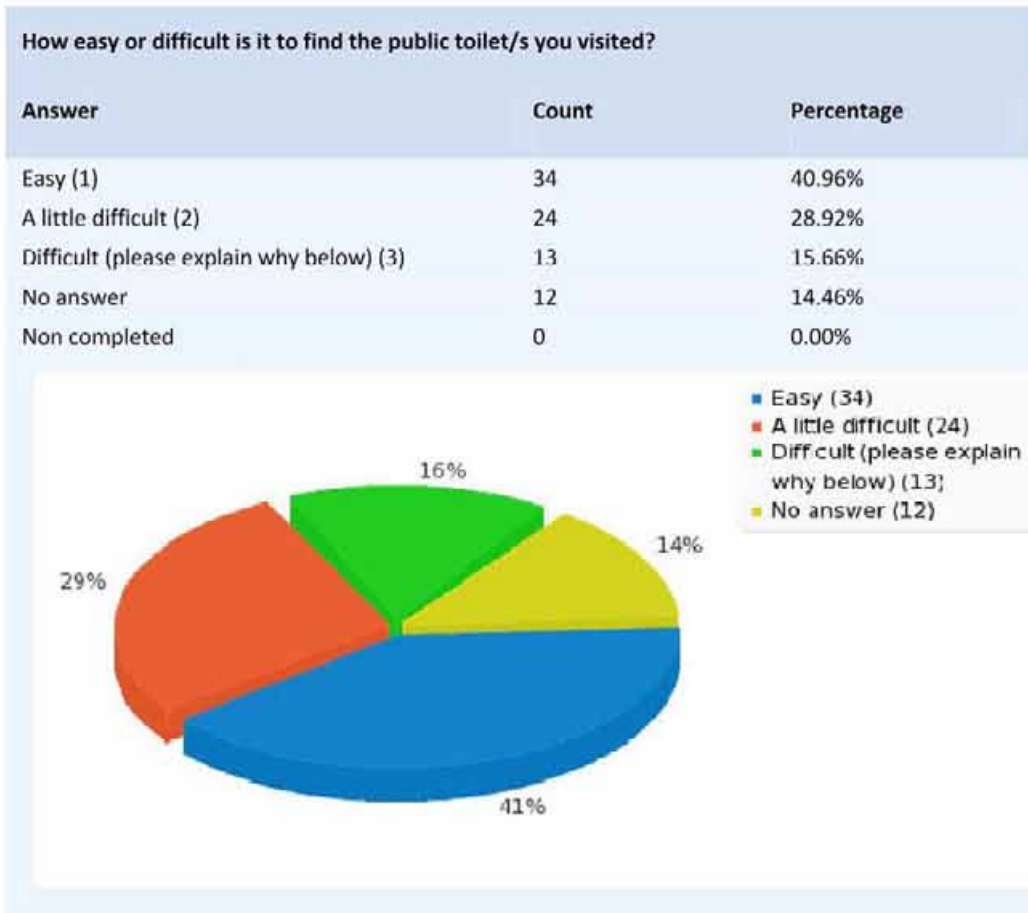




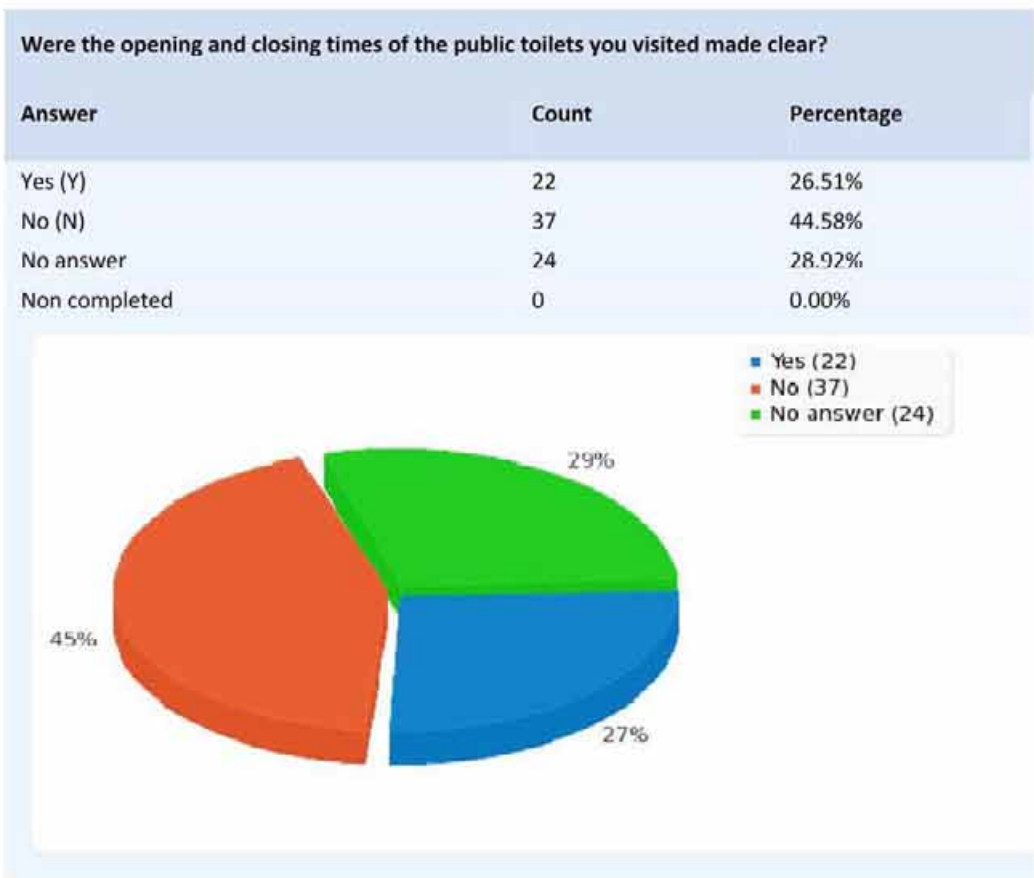


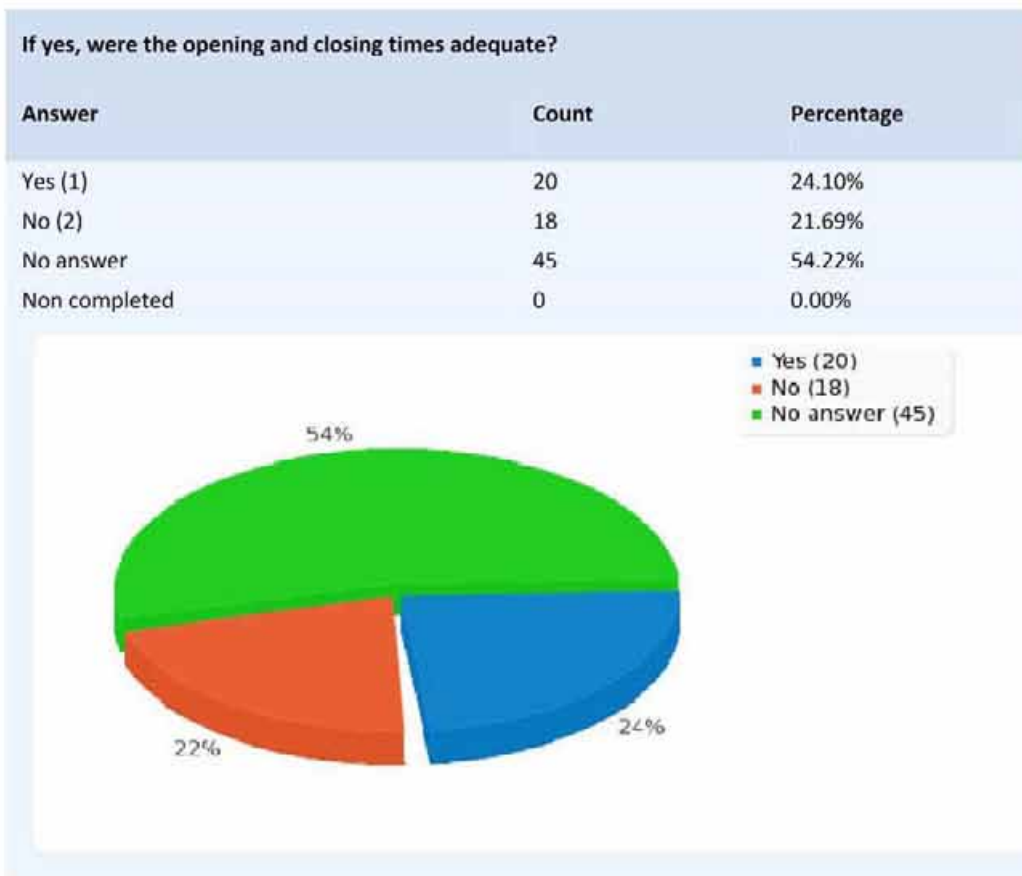


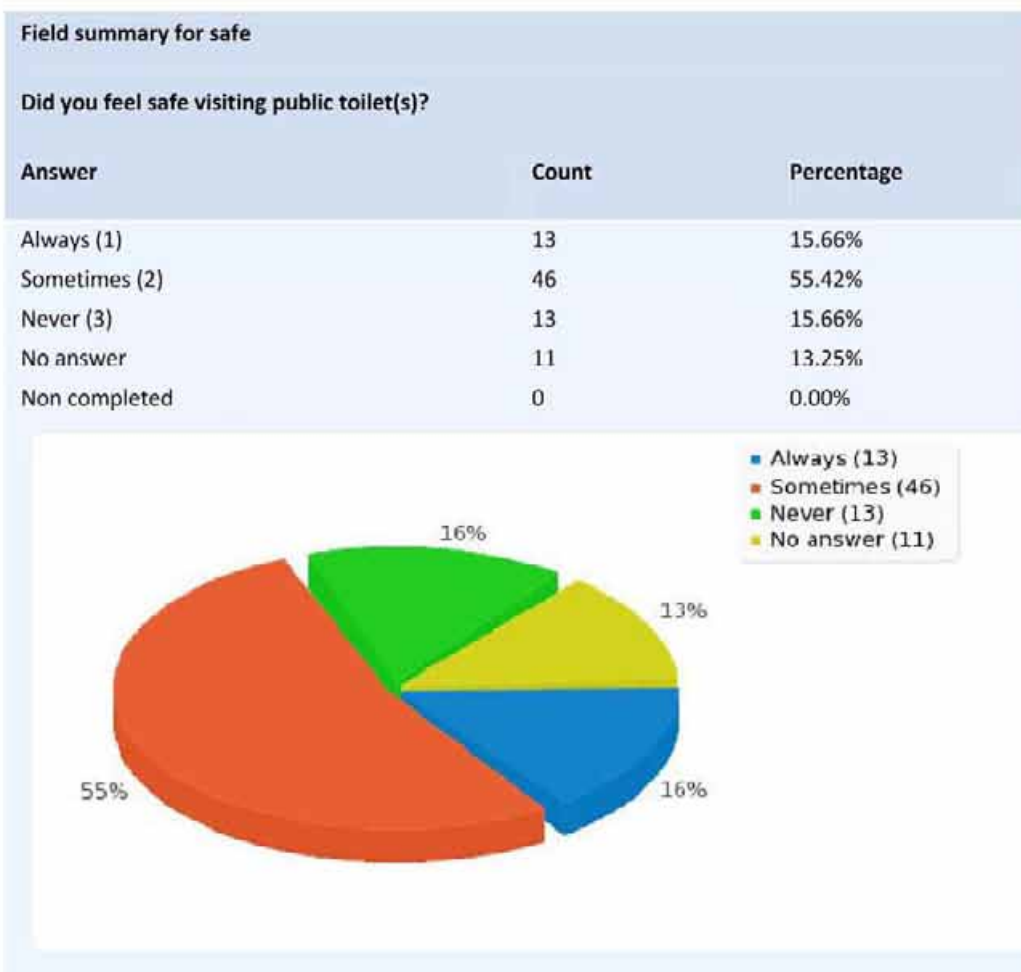












# Appendix 3

Media release

Draft



City of Greater Shepparton

URL: <http://www.greatershepparton.com.au/news/toiletreview.html>

Your Council » News Archives » 2013 » May 2013

## Review to flush out opinion on public toilets

News article released on Tuesday 14 May 2013

Greater Shepparton City Council wants to hear people's views on the region's public toilets.

Council resolved in November 2012 to commission a report into council-managed toilets in Greater Shepparton, and hopes to have a draft Public Toilet Policy ready in June 2013.



"Toilets are a vital part of our public infrastructure," said Steve Bowmaker, Director Infrastructure. "Council has an important role to play in providing clean, safe and accessible public toilets for the whole community."

"The Public Toilet review will help us to develop a systematic approach to how we operate public toilets in the municipality, and will help us to develop consistent guidelines," he said.

Mr Bowmaker said that he hoped as many people as possible from right across the community would have their say.

"Public toilets that aren't available or aren't up to scratch are simply a nuisance for many of us. However, for people living with a disability or caring for someone with a disability, for parents, and for the elderly or people with some illnesses, not having access to public toilets can be a significant barrier to being able to participate fully in society," he said.

The issue of public toilets was commonly raised in the recent Council Plan community consultations, Mr Bowmaker said.

The survey includes questions about how frequently people use public toilets in the municipality, how they rate the quality of the facilities, whether people feel they are cleaned and maintained often enough, and whether they felt safe using them.

Review to flush out opinion on public toilets - Greater Shepparton Cit...

<http://www.greatershepparton.com.au/news/toiletreview.html>

“The community has high expectations that our public toilets are accessible to everyone, are of a high standard and are suitably located and well maintained,” Mr Bowmaker said. “Participation in this survey will assist us in achieving that aim.”

The survey can be [filled in online](#), [downloaded from Council's website](#), collected from Council’s Welsford Street offices, the Mooroopna Community Hub and the Tatura Newsagency, or can be posted out by request (phone 03 5832 9700).

Completed surveys can be returned by posting to Locked Bag 1000, Shepparton, 3632, emailing them to [council@shepparton.vic.gov.au](mailto:council@shepparton.vic.gov.au), or dropping them in to 90 Welsford Street, Shepparton, by 31 May 2013.

## Appendix 4

### Building structure and DDA assessment

Draft

The specified public toilets have been graded into two levels. Level 1 is a high use facility that is frequented by tourists and Shepparton people. A level 2 facility has infrequent use such as sporting complex or cemetery or remote community. The age of the toilet block governs which regulations the building must accord with. In accordance with the Building Regulations the following should be noted.

There is no requirement for a toilet accessible by the disabled prior to Victoria Building Regulations 1983 which came into operation on 1 May 1984. These regulations incorporated specific requirements to be used by disabled persons in Schedule 9 of the regulations.

From 19th February 1991 Victoria Building Regulations adopted Building Code of Australia 1990 which Referenced AS1428.1-1988

From 14th June 1993 Amendment to Building Code of Australia 1990 which referenced ASA1428.1-1993

From 1st January 2002 Amendment to Building Code of Australia 1996 which referenced AS1428.1 -2001

From 1st May 2011 Building Code of Australia 2011 referenced AS1428.1-2009. This Standard is in line with the Commonwealth Disability (Access to Premises – Buildings) Standards 2010 (Premises Standards).

It should be noted, however, that compliance with AS1428.1 will not necessarily mean compliance with the Disability Discrimination Act 1992 (DDA). Fair, equitable, independent and dignified access to the building by disabled people must be a fundamental objective.

NOTE: Disability Discrimination Act 1992 came into operation 5 November 1992.

Under the Disability Discrimination Act 1992 the Disability (Access to Premises – Buildings) Standards 2010 commenced on the 1st May 2011 which incorporates AS1428.1-2009.

Extract from Building Commission Practice Note 2011-14  
(6.4) Toilet concession

Regulation 116(4)(c) provides that it is not necessary to upgrade an existing accessible sanitary compartment to comply with F2.4(c) and F 2.4(e) of the BCA that is the subject of new building work, provided the existing sanitary facilities comply with AS 1428.1 – 2001. Toilets that are within the new part, or the affected part of the building, that do not comply with this version of the Standard, will need to be upgraded. Toilets adjacent to the affected part do not have to be upgraded under the Premises Standards. However, any proposed new toilets must comply with the access provisions.

## References

Draft